

MARINE CORPS EXCHANGE 0131 MARINE CORPS BASE CAMP LEJEUNE, NORTH CAROLINA 28542

IN REPLY REFER TO: MCEX/JDW/rsm 4700/7000 Special 5 Aug 1980

From: Marine Corps Exchange Officer To: Public Works Officer

Subj: 35% Review Comments Location Exchange

Ref: (a) TONECON Mr. J. D. Waugh and Mr. Charlie Pye 4 Aug 1980

Encl: (1) Sketch of Unloading and Tank Storage Area

1. The 35% drawings for Location Exchange Berkeley Manor NO27 have been reviewed. Comments from Headquarters LFF-2 were discussed by reference (a). The following is a listing of recommendations for consideration and inclusion with Public Works comments:

a. Headquarters Marine Corps LFF-2 Comments:

(1) Provide (2) parking spaces for Handicapped.

(2) Provide water cooler and janitor sink in area of compactor opening adjacent to toilet facilities.

(3) Provide rubber base in lieu of wood base in work area.

(4) Building appears to be structurally overdesigned - refer to exterior walls.

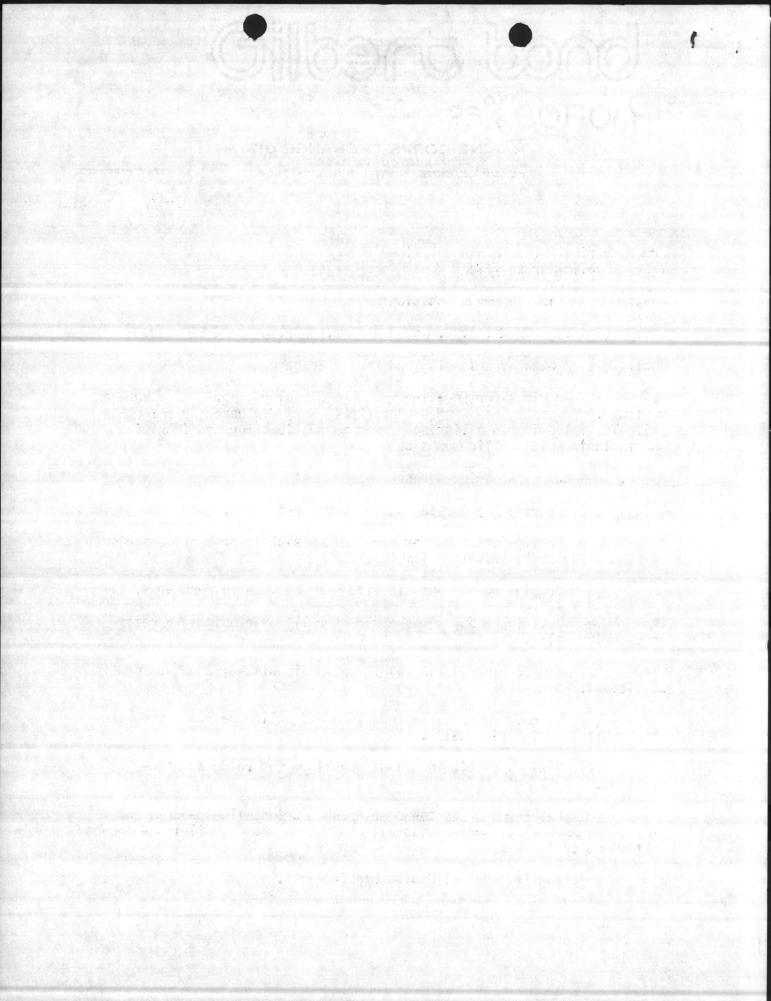
(5) Cement block walls should not be insulated; 2" styrofoam is sufficient.

(6) Styrofoam insulation should be installed between block and brick walls not interior walls.

(7) Design of building should consider future maintenance problems.

(8) Underground gas tanks are shown as installed beneath gas pumps, recommend gas tanks be installed on south end of building adjacent to pavement.

(9) Confirm thermal design requirements.



MCEX/JDW/rsm 5 Aug 1980

b. Marine Corps Exchange, Camp Lejeune, NC Comments:

(1) Provide method of mechanical ventilation.

(2) Recommend 2'x4' lay in flourescent light fixtures be the type which use watt saver lamps and ballasts.

(3) In merchandise resale department use para-wedge light diffusers instead of 1/8" plastic for lay in flourescent lighting units.

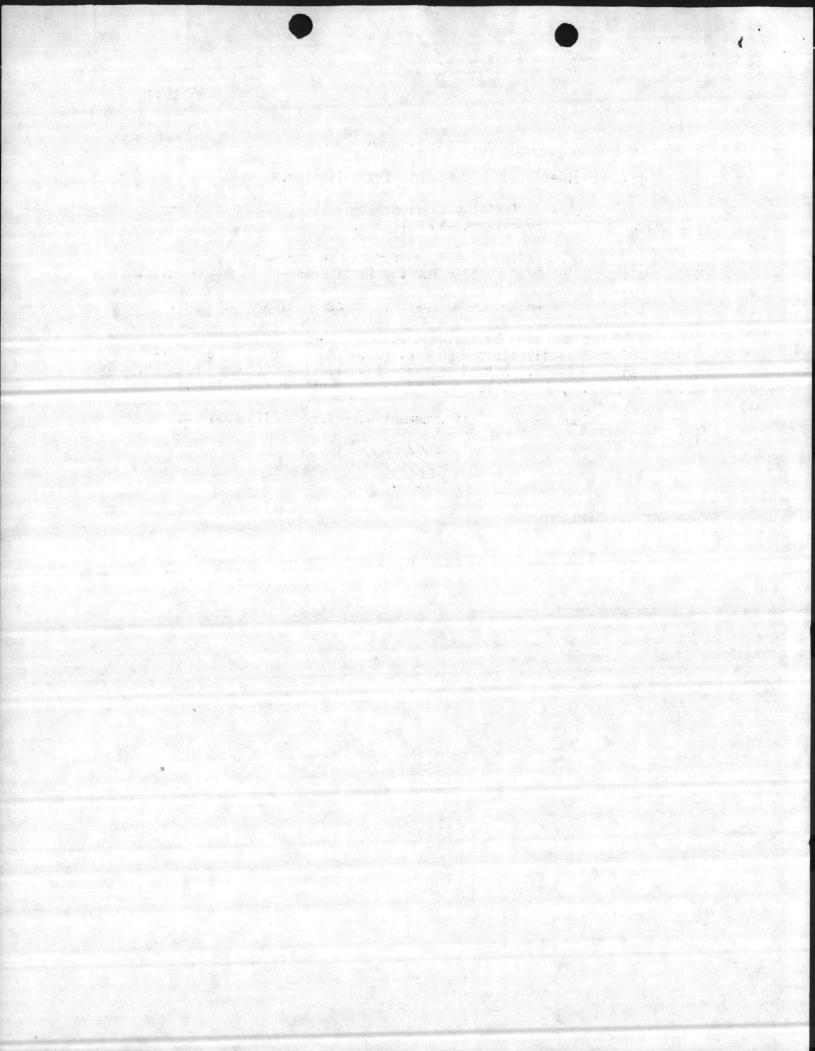
(4) Gas dispensers to be dual dispensers dual product type.

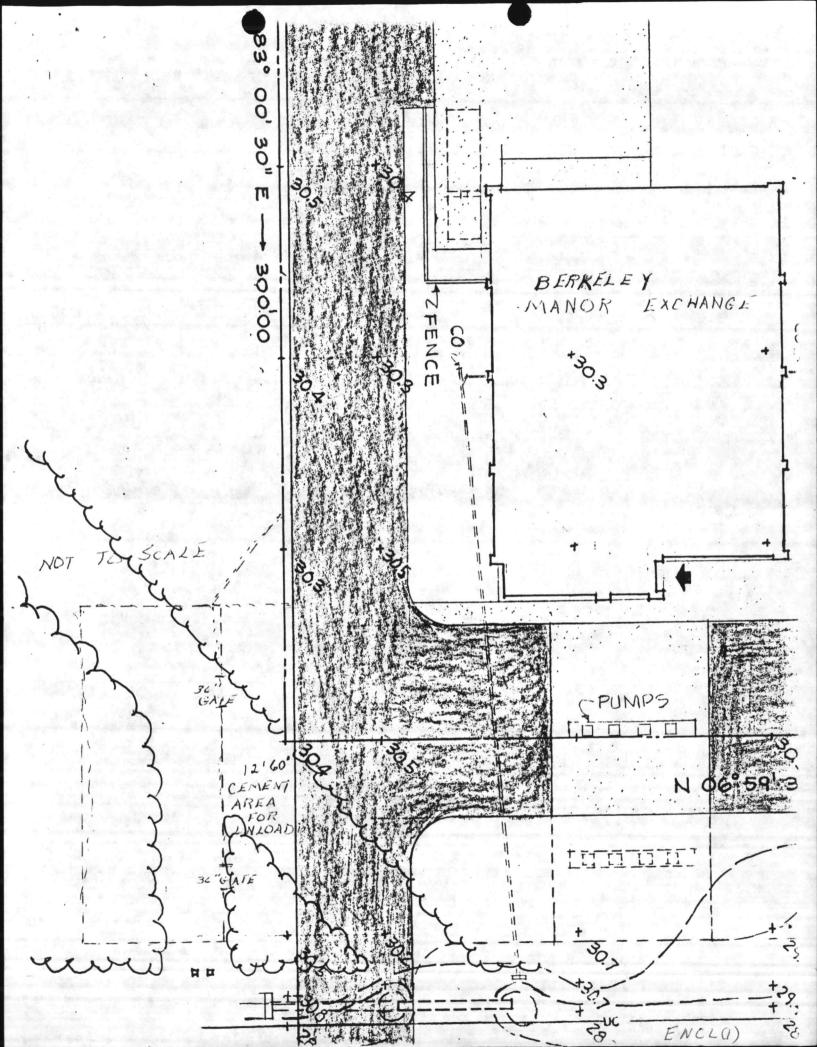
(5) Gas tanks to be enclosed with 48" chain link fence. Location of gate as illustrated on Encl (1). Fenced area to be determined by size of tanks. Method of tanks installation discussed with Mr. Carr 6 Aug 1980. Submercible pumps to be Red Devil or equivalent.

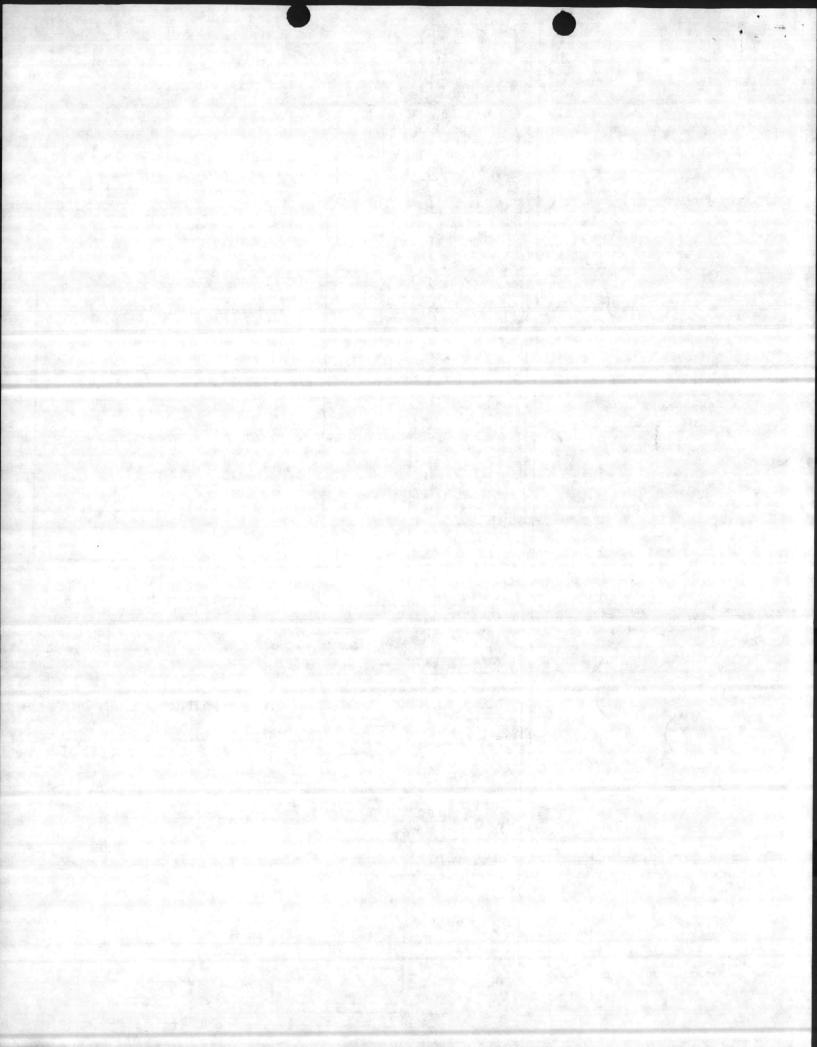
(6) Extend pavement using cement base for gasoline unloading area. Encl (1)

E. M. GLASS

Copy to: Charlie Pye







MCEX/ANW/cwk 4700/7000 (Special) 7 December 1979

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From: Marine Corps Exchange Officer

To: Commanding General, Marine Corps Base, Camp Lejeune, North Carolina 28542 (Assistant Chief of Staff, Comptroller)

Subj: Certification of Availability of Funds for Project N026, Berkeley Manor Location Exchange

Encl: (1) Copy CMC 1tr LFF-1-JBB:bab of 23 Nov 79

1. The enclosure approved the expenditure of Marine Corps Central Construction Funds for the construction of Berkeley Manor Location Exchange (Project NO26).

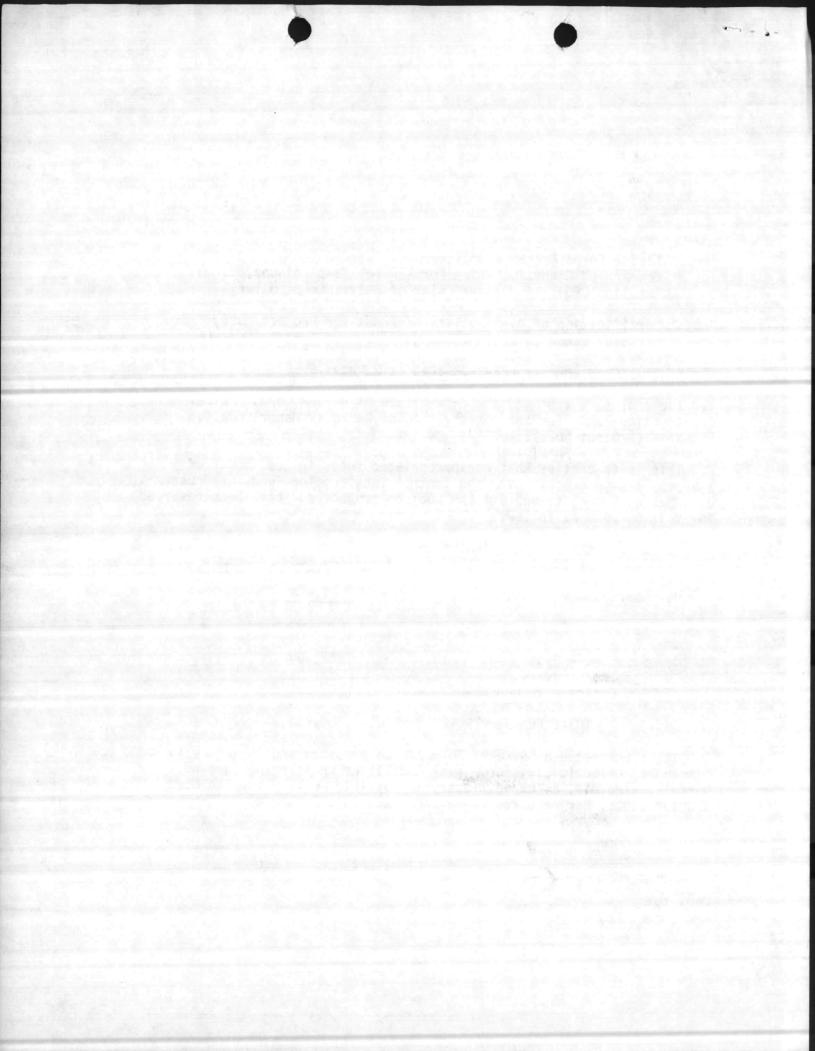
2. This is to certify that nonappropriated funds in the amount of \$ \$754,435 are on deposit with the Central Construction Fund, Headquarters, U.S. Marine Corps, to support the subject project and have been reserved for this purpose as follows:

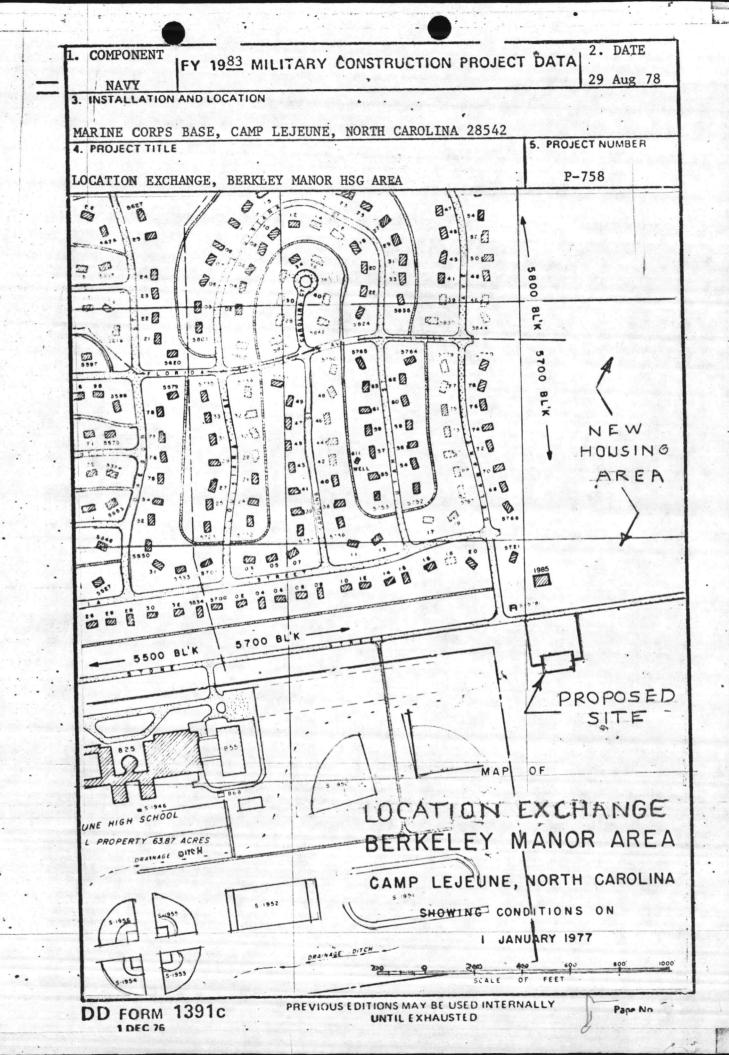
a.	Construction Costs, including 15% for escalation	\$609,500
b.	Contingency of 10%	61,000
- C.	Estimated Construction Costs	670,500
d.	S.I.O.H 5.5%	37,000
e.	A&E Design & In House - 7%	46,935
	TOTAL FUNDS APPROVED HEREIN	\$754,435

3. It is requested a NAVCOMPT Form 739 be prepared and forwarded to the Commander, Atlantic Division, Naval Facilities Engineering Command, Norfolk, Virginia, as expeditiously as possible, with a copy to Headquarters, U.S. Marine Corps (Code LFE), and this Exchange.

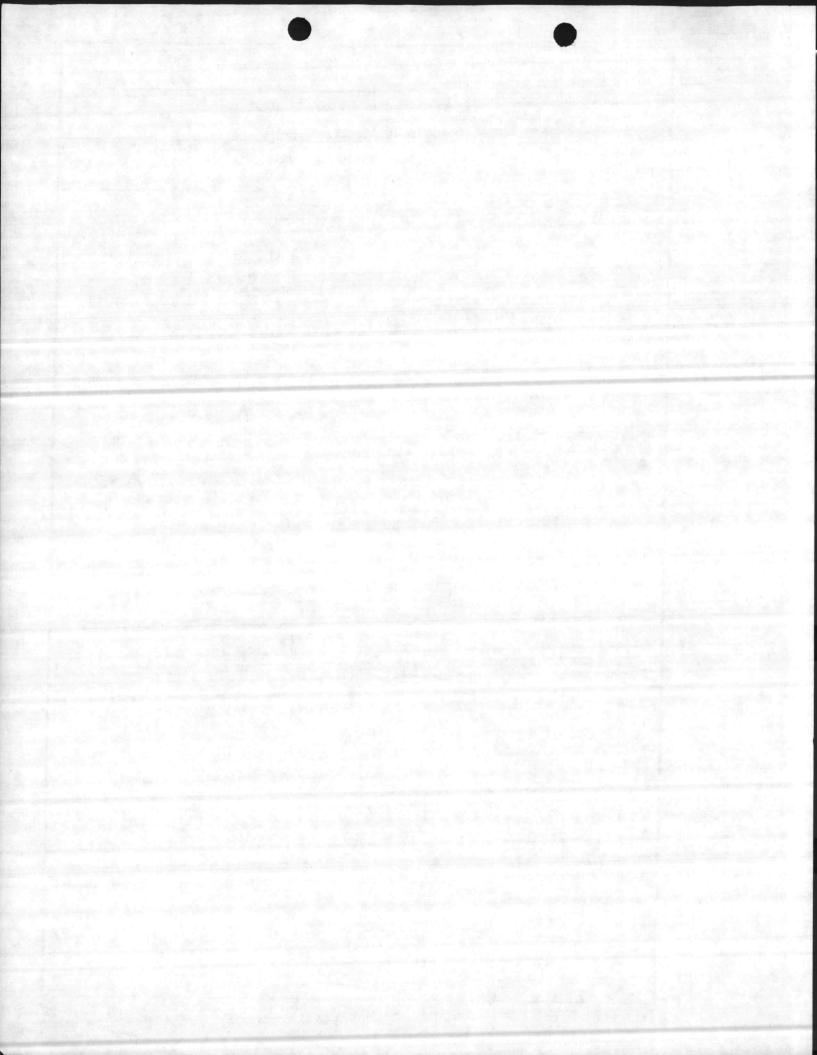
E. M. GLASS

Copy to: CMC (Code LFE)





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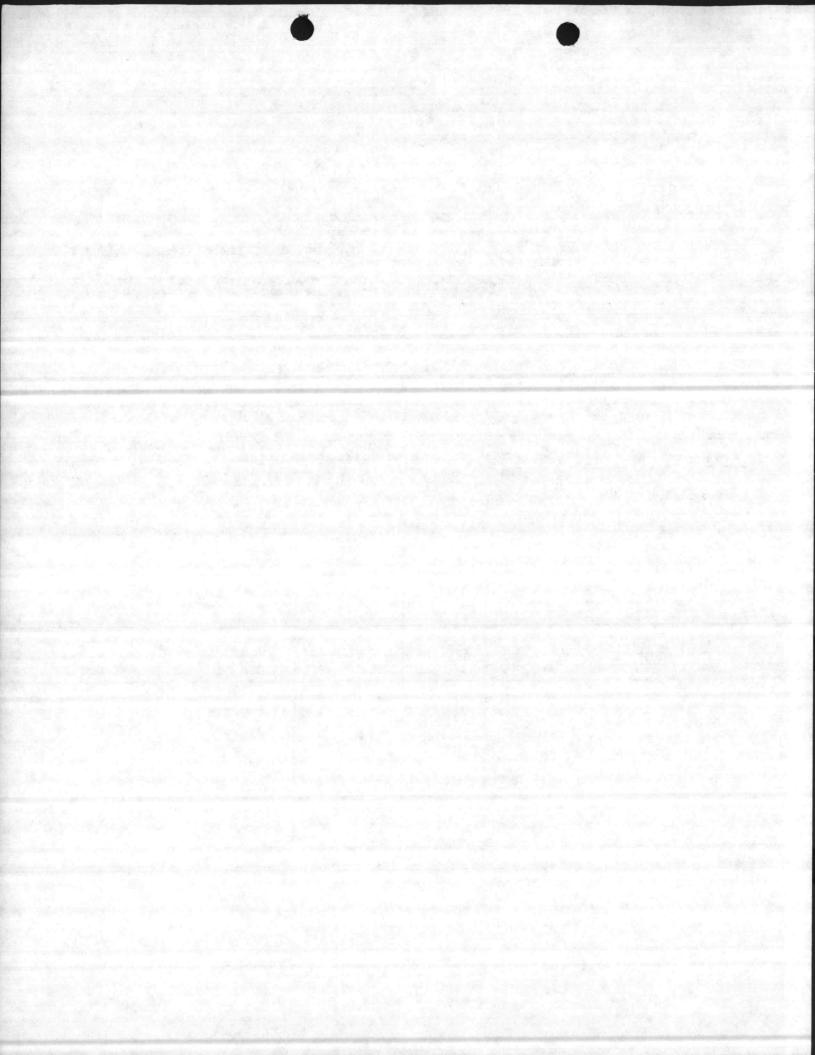
#### REPORT OF CONFERENCE

DATE:

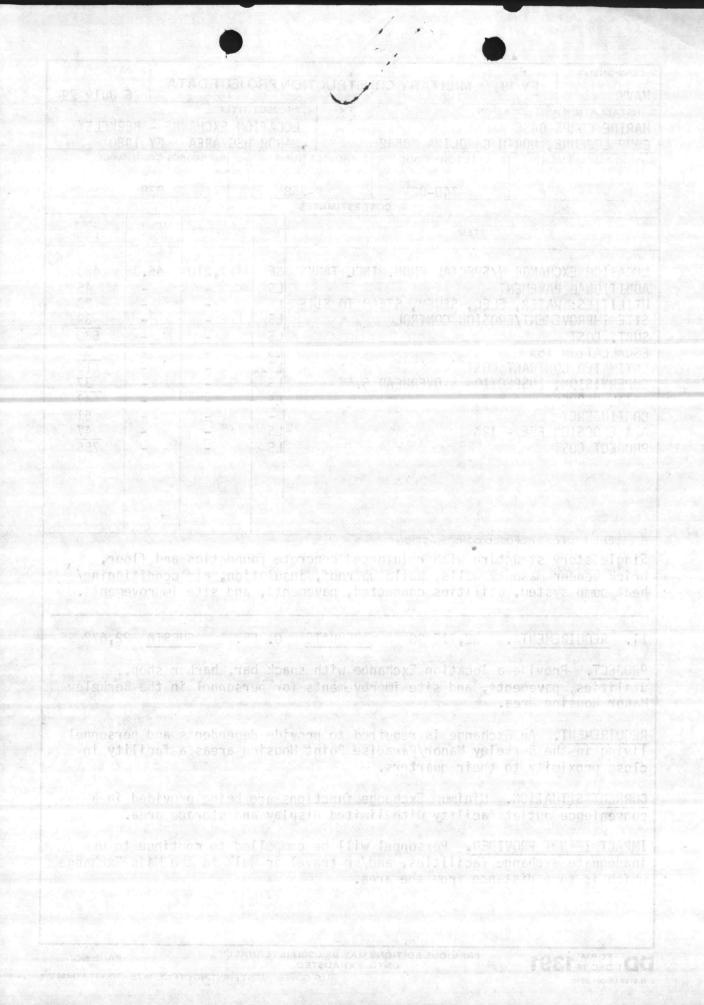
Bldg. 1005, Public Works, MCB, CLNC LOCATION: 1100 8 MAT 30 TIME & DATE: LOCATION EXCHANGE BERKELEY MANOR SUBJECT: PRE-DESIGN CONFERENCE **PURPOSE:** 

LIST OF ATTENDEES

TELEPHONE NO. ORGANIZATION TITLE RANK NAME JAMES D. WAUGH Report and ARCHITECT PUBLIC KORKS DEPT 451-3658 PAM DIr. MCX0131 451-2135 688-6308 architet CARR HARRISON PRUDEN IN C ... 3 Killin an



. COMPONENT NAVY	FY 1	19MILITARY CO	ONSTRUCT	ION PR	OJECT DAT	A	ate July 79
MARINE CORPS	S BASE	ATION TH CAROLINA 28542		4. PROJECT TITLE LOCATION EXCHANGE - BERKELEY MANOR HSG/AREA FY 1980			
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NAVDOCKS 2417 (REV			P-758
area or nd 5th ND	Marine Corps Base	Camp Lejeune, NC	CATEGORY CODE NUMBER

LOCATION EXCHANGE, BERKELEY MANOR HSG AREA

ITEM (OR FEATURE) DESCRIPTION	QUANTITI	ÊS	MATERIA	_ COSTS	LABOI	R COSTS	ENGINEERIN	IG ESTIMA
(Abbreviate if necessary)	NO. OF UNITS	UNIT	UNIT COST	COST	UNIT COST	COST	UNIT	COST
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		LS	Carl State	16,250	の事業で一些に	5,357	and the	21,60
tgs, piling, etc.	20 750		0.00	10,200	0.76		1 02	
rick, face, sand/clay	39,750	EA	0.26	10,335	0.76	30,210	1.02	40,54
MU, 6" w/insulation	2,500	EA	0.85	2,125	2.42	6,050	3.27	8,17
nsul, wall, rigid	2,000	SF	0.53	1,060	0.25	500	0.78	1,56
ar joist	5	TN	1056.	5,280	270.	1,350	1326.	6,63
truct. stl.	6	TN	1124.	6,744	288.	1,728	1412.	8,47
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ol., stl. pipe 4"	1,000		0.59	590	0.22	220	0.81	81
eck, mtl., roof	7,210	SF	1.25	9,012	0.96	6,922	2.21	15,93
oof, built up	73	SQ	82.88	6,050	42.92	3,133	125.80	9,18
lashing, copper	530	SF	3.52	1,866	2.35	1,245	5.87	3,11
	7,210		1.05	7,570	0.51	3,677	1.56	11,24
nsul., rigid, 2"					A CONTRACT CARD IN CONTRACTOR			
ile, accoust., clg	7,210		1.71	12,329	0.93	6,705	2.64	19,03
nsul., batt, clg.	7,210	SF	1.05	7,570	0.54	3,893	1.59	11,46
ile, vinyl asb	3,000	SF	1.56	4,680	0.71	2,130	2.27	6,81
emgatile Fl.	4,210		2.10	8,841	1.40	5,894	3.50	14,73
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talls, mtl., toilet	8		350.	2,800	121.36	970	471.36	3,77
ownspout, mtl. copper	168	LF	9.62	1,616	1.25	210	10.87	1,82
cruppers, mtl. copper	12	EA	115.44	1,385	41.44	497	156.88	1,88
anopy, al., 6"	114		19.24	2,193	13.32	1,518	32.56	3,71
	4,400		0.26	1,144	0.62	2,728	0.88	3,87
ainting	4,400	31	0.20	1,144	0.02	2,720	0.00	3,07
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lgt, w/brks, etc.								
luor. fix, 4T96		EA	173.16	15,584	47.36	4,262	220.52	19,84
ecpt., elect		EA	8.88	533	14.06	843	22.94	1,37
V fix., ext, w/pol	8	EA	843.60	6,749	562.40	4,499	1406.	11,24
isc. wiring & cond.		LS		3,293	and the second	6,349		9,64
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lights & alarm	10.20	LS	Price and	3,492	4.5	1,568	**************************************	5,06
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NAVDOCKS 2417 (REV.	5-63)		IDENTIFICATION NUMBER
area or nd 5th ND	Marine Corps Base	Camp Lejeune, NC	CATEGORY CODE NUMBER 740-02

PROJECT (Or line item) TITLE

1

LOCATION EXCHANGE, BERKELEY MANOR HSG AREA

一级性

ITEM (OR FEATURE) DESCRIPTION	QUANTIT	IES	MATER	IAL COSTS	LAB	OR COSTS	ENGINEER	ING ESTIMAT
(Abbreviate if necessary)	NO. OF UNITS	UNIT	UNIT COST	COST	UNIT COST	COST	UNI T COST	COST
	2	3	4	5	6	7	8	9
Heat., A/C & Vent 35 TN heat pump, con- trolls, resistor coils w/insulated duct, diff. & grilles Exh. fan, w/hood Misc. hoods & fans for soda fountain, etc.		LS EA LS	703.	48,723 2,812 3,010	185.	21,812 740 1,176	888.	70,539 3,552 4,180
Plumbing Toilet fix. w/piping Fl. drains w/piping Elect. drink ftn. & acc. Hot water heater, stor- age, 1,000 gal.		4 EA B EA 2 EA 1 EA	436. 352. 732.	1,744 2,816 1,464 4,536	421. 236. 251.	1,684 1,888 502 577	857. 588. 983.	3,428 4,704 1,960 5,113
<u>Site Work</u> Paving, sub-base, grading & escav. Utilities to site location Clearing & grubbing		LS LS LS		32,500 12,500 14,000		12,500 10,500 25,000		45,000 23,000 39,000
SUB TOTALS Installation of tanks, pumps & control center SUB TOTAL Escallation 15% thru 1980 Construction Cost Contingency 10% SUB TOTAL SIOH 5.5 A & E Design In-House 7% Total Estimate Cost of Pro	ject			301,385		193,615		35,000 530,000 79,500 609,500 61,000 670,500 37,000 46,93 754,43
	APPROVED BY				E OR ORGANI	221/04	DATE	

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45,000 22,000 *39,009		12,500 10,500 25,000		one.se 32.500 44.000		LS 15 15	Site Work Peving, sub-base, grading & esnar, Utikities to site location Clearing & grubbing,
$\frac{35,800}{530,000}$ $\frac{35,800}{99,500}$ $\frac{600,500}{670,500}$ $\frac{670,500}{46,935}$ $\frac{46,935}{754,435}$		193,615		201, 385		i active tection	SUB TOTALS Installation of tanks, pumps & control canter SUB JurAL Escallation 15% thru 1980 Construction Gost Contingeney 10% SUB TOTAL SUB TOTAL SUB TOTAL Intal Estimate Cost of tr

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1.	COM	PON	ENT	r i

NAVY

### FY 19.82 MILITARY CONSTRUCTION PROJEC. DATA

20 Oct 78

3. INSTALLATION AND LOCATION

MARINE CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542

4. PROJECT TITLE

LOCATION EXCHANGE, BERKELEY MANOR

5. PROJECT NUMBER

P-758

#### FACILITY STUDY

1. <u>Project</u>. Provides a Location Exchange for personnel working and living in the area.

2. <u>Current and Planned Future Workload with Regard to This Project</u>. The facilities will be utilized on an 8 hour day basis seven days a week. The duration of need for this facility is indefinite.

3. Description of Proposed Construction:

a. Type of Construction. One-story modular steel frame, reinforced concrete, special foundation, masonry walls, concrete floors, built-up roof, insulation, interior utility systems, rigid and flexible pavements, security lighting, utility connections, site improvement. etc.

b. Replacement. Not applicable.

c. Description of Work to be Done.

(1) <u>Primary Facility</u>. Modular steel frame, reinforced concrete/ masonry structure on special foundation.

(2) Support Facility. Pavements, lighting and site improvement.

(3) <u>Energy Conservation</u>. This project will utilize energy efficient equipment and building orientation for maximum energy conservation.

(4) Collateral Equipment.

(a) <u>Built-in</u>: venetian blinds, window screens and doors, drinking water coolers, telephone, fire alarm, sprinkler and intercom systems, plumbing, heating, ventilating and air-conditioning systems. (The foregoing items are considered in the project cost estimate for the facility reflected on the 1391.)

(b) Expense Items: will be non-appropriated fund supplied equipment.

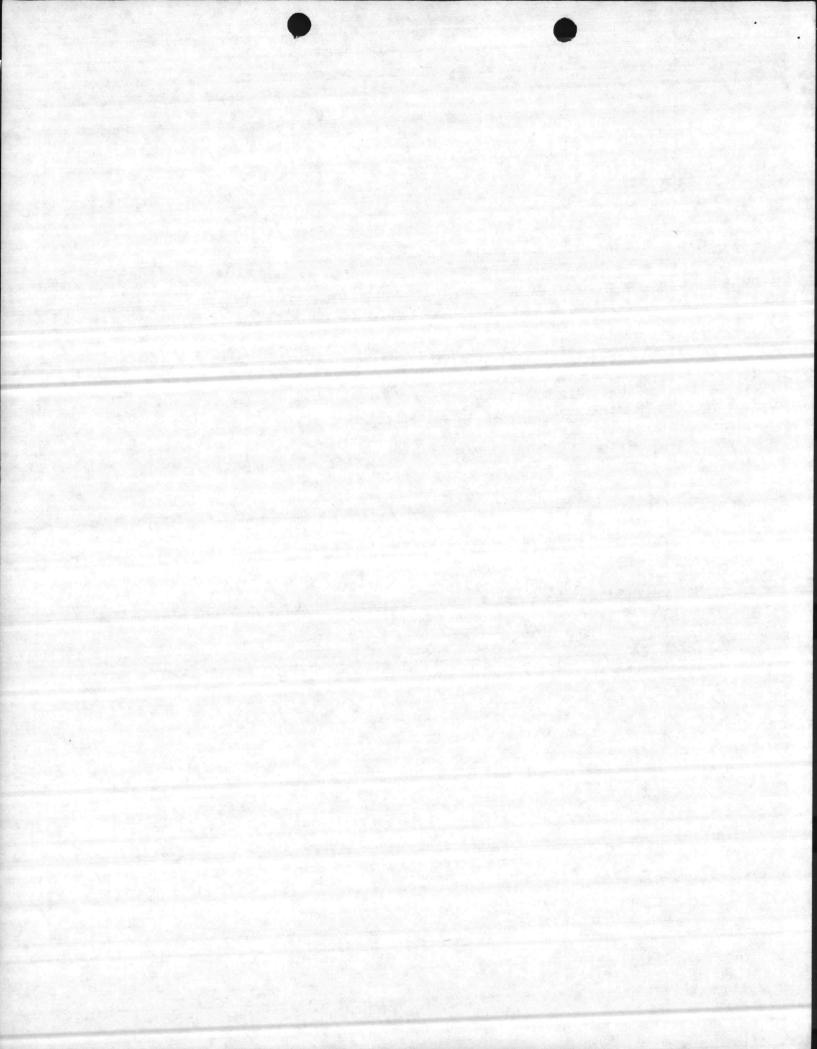
(5) <u>Supporting Facilities</u>. Special foundation, pollution mabatement, site improvements, etc.

4. <u>Cost Estimates</u>. Area cost factor for Camp Lejeune, N. C. is 1.00, NAVFAC P-448 (Feb 1976), Military Construction Cost Engineering Data.

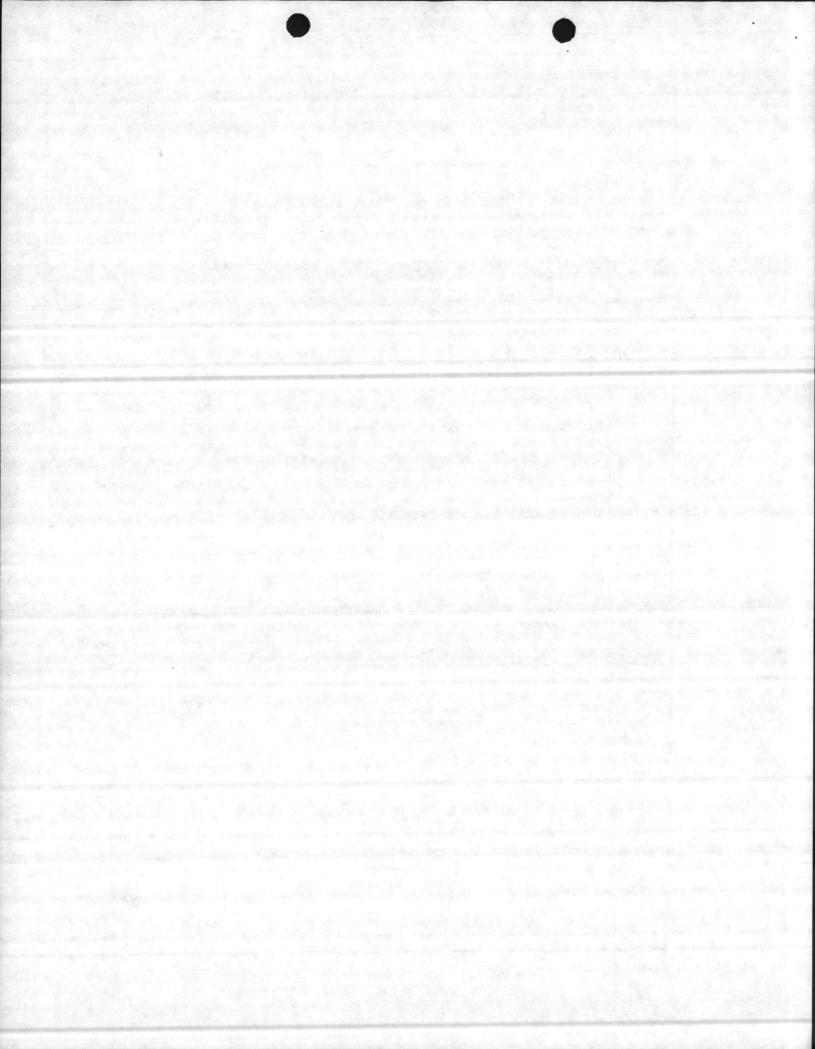
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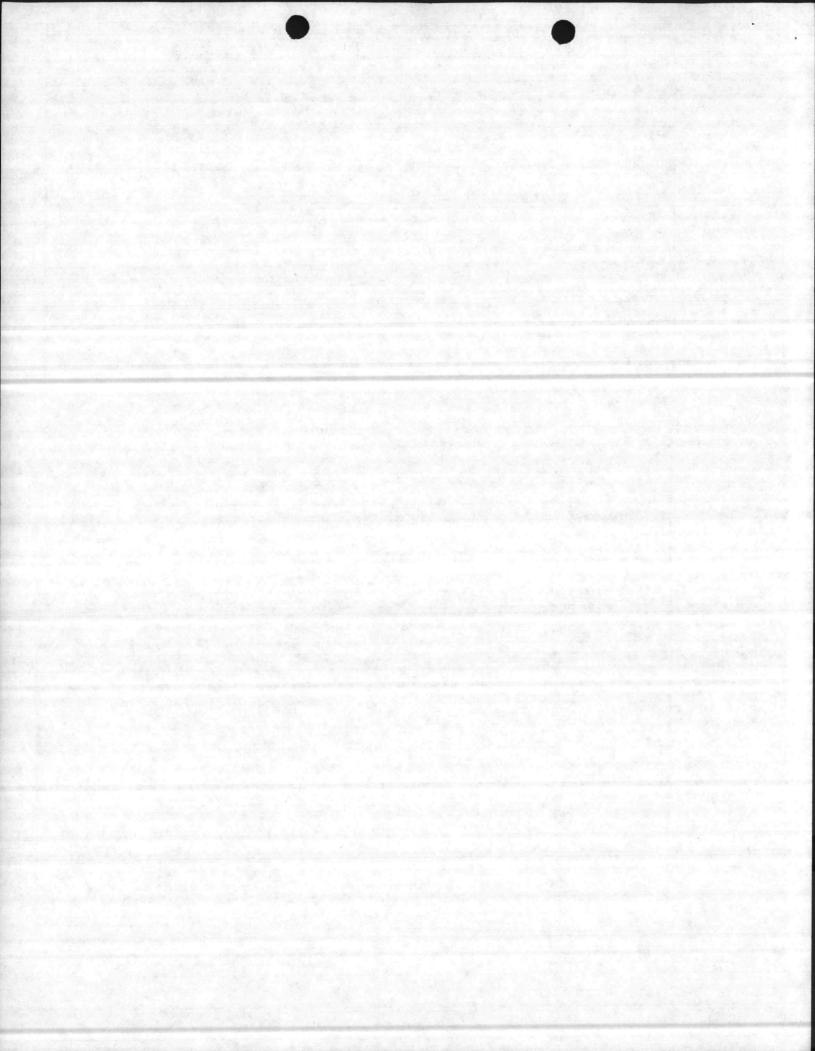


NAVY FT 19			20 Oct 78
INSTALLATION AND LOCATION			
MARINE CORPS BASE, CA	MP LEJEUNE, NORTH CARC		
PROJECT TITLE		5. PR	OJECT NUMBER
LOCATION EXCHANGE, BE	RKELEY MANOR		.P-758
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the first states of the states and the states			
a. Justification	i for Project:		
sonnel living and wor Exchange.	Proposed facility is king in close proximit	ty to the propose	ed Location
(2) <u>Current S</u> minimum facilities, 1	Situation. Location Exclored in or near pers	changes are in su sonnel centers.	ıbstandard and
(3) <u>Impact in</u> substandard and minim and limited services	f Not Provided. Person num facilities which p to patrons.	nel will continue rovide inefficien	e to utilize nt operations
b. Justification	n for Scope of Project	: :	
the deficiency require	ect scope is the minim rements for space, Cat l correct the deficien	egory Code 740-0	2 (Location
6. Equipment Provid	ed from Other Appropri	ations. Not appl	icable.
7. <u>Common Support F</u> support facilities a	acilities. Not applica vailable in the area.	ble. There are	no common
\$3,710 per year in i and operations. No this facility. The personnel presently struction should be situation, and compl	Resources. The project ncreased O&MN funds for additional personnel w project will enhance a working and living in responsive to the chal y with the requirement lemented by NAVFACINST	r increased util rill be required and improve the m the vicinity. P lenges presented s of Executive O	ty services to operate orale of roposed con- by the energy
	UTILITY REQUIREN	TENTS	
a. Electricity Consu	mption55,438	KWHR/yr	



INSTALLATION AND LOCATION					Oct 78
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Consump Demand	tion 853,376 305	1bs/yr 1bs/hr			
Demand		10\$/11			
c. Coal	33	tons/yr			
d. Adequate utili	ty requirements	are available			
9. Siting of the Proj	ect:				
Pudlidan laway	t. Cas analogue	(1)			
a. Building layou	t: See enclosur	te (1)			
b. Location: See	enclosure (2)				
10. Other Graphic Pre	sentations, incl	Luding Photogr	aphs.	None.	
AND R. AND			Sec. Asi		
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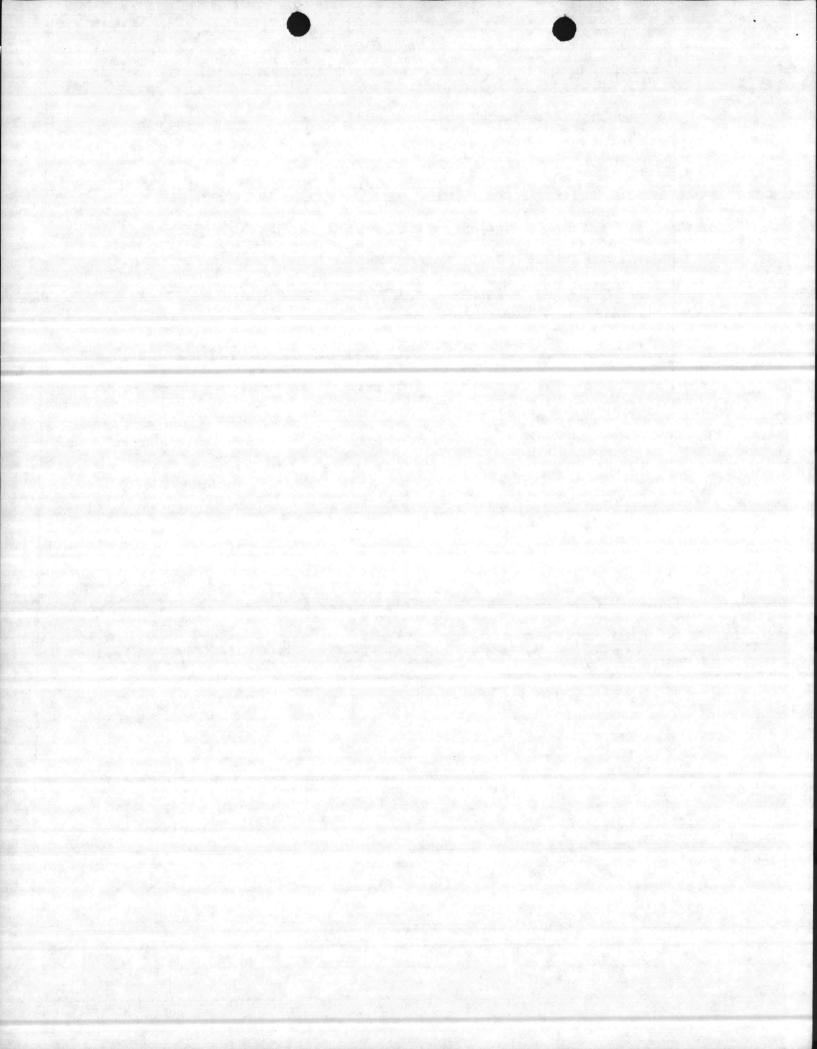
1. COMPONENT NAVY	FY 19MILITARY CONSTRUCTION PROJE_ DATA	2. DATE 20 Oct 78
3. INSTALLATI	ON AND LOCATION	
MARINE (	CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542	
4. PROJECT TIT		OJECT NUMBER
LOCATIO	N EXCHANGE, BERKELEY MANOR	P∸758
	Planned Facilities:	Ser Maria
	FYProject No.Area SFLocation83P-7587,210Berkeley Manor7,210Total Planned Facilit	

14. <u>Funding</u>. Funding will be from the Nonappropriated Fund , Central Construction Fund, HQMC.

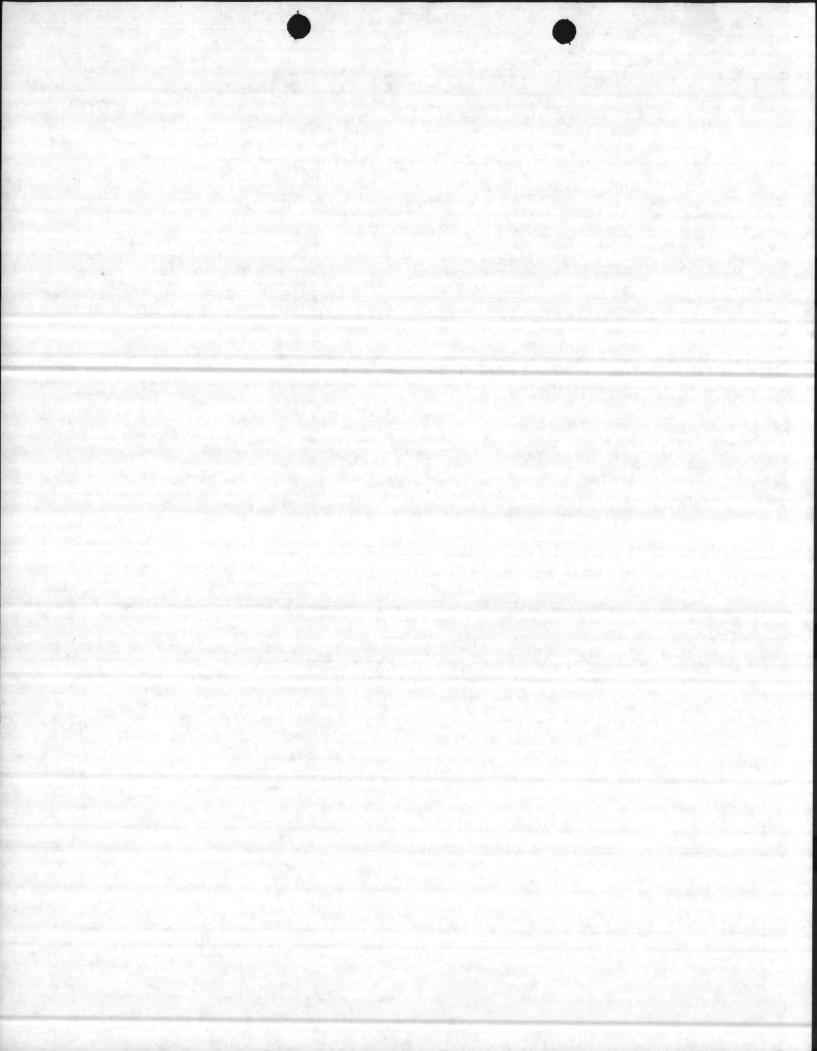
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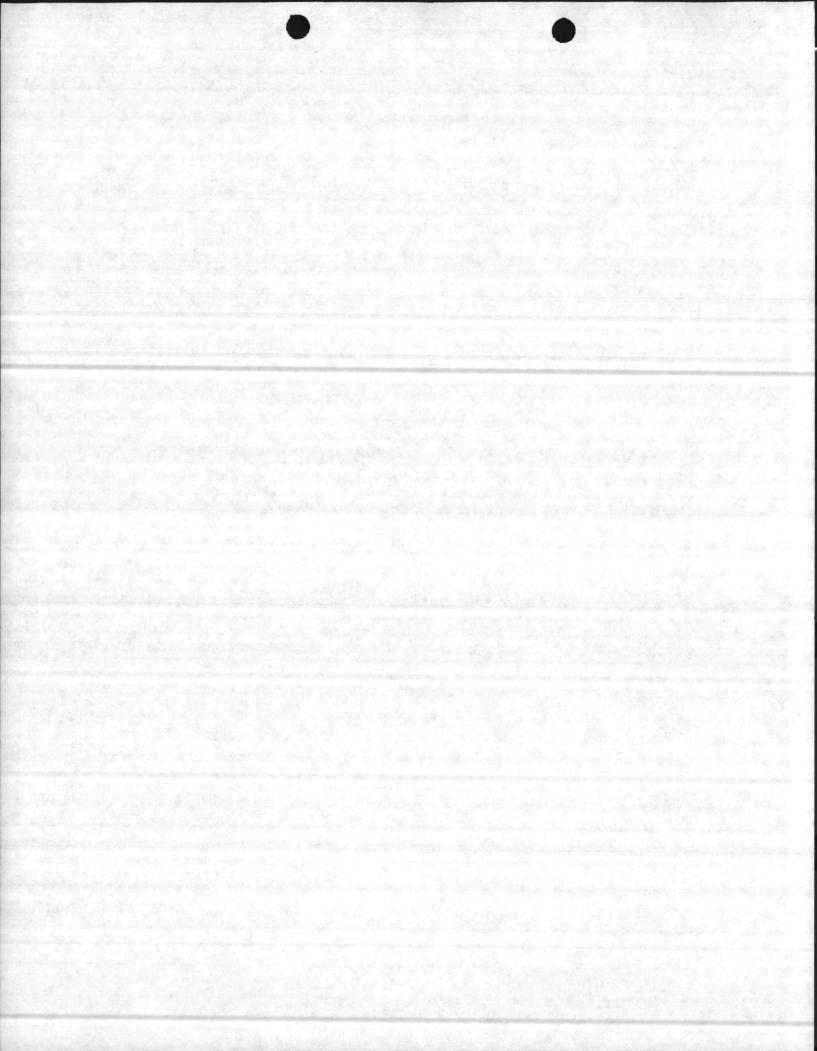
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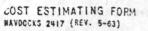
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UBT. COST	MACOUNCEL CONTAINED		IS	-	-	405
CONTINGENCY - 10%			LS	-	-	40
ESTIMATED CONTRACT	r COST		LS	-	-	445
SUPERVISION, INSPI	ECTION & OVERHEAD	- 5.5%	LS .	-	-	24
FOTAT. REQUEST			LS	-	-	459
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MARINE CORPS BAS	SE, CAMP LEJEUNE, NORTH	H CARULINA 20342	5. PROJECT NUMBER
4. PROJECT TITLE			P-758
LOCATION EXCHAN	GE, BERKELEY MANOR HSG A	AREA	
1	SPECIAL CONSI	DERATIONS	•4 
made and it has neither a signi versial.	AL IMPACT. An enviror been determined that ficant impact on the e	environment nor is	it highly contro-
ties do not di structure, obj otherwise poss	ON OF HISTORIAL SITES I rectly or indirectly at ect, or setting which the esses a significant quart	is listed in the N ality of American	ational Register history.
3. FALLOUT SH of project pur	ELTER CONSTRUCTION. F	allout shelter exc	luded - impairmen
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0105 013 3800	and see and a second	•	P-758
AREA OR NO		LOCATION	CATEGORY CODE NUMBER
	MARINE CORPS BASE	CAMP LEJEUNE, N.C.	740-02

PROJECT (Or line sten) TITLE

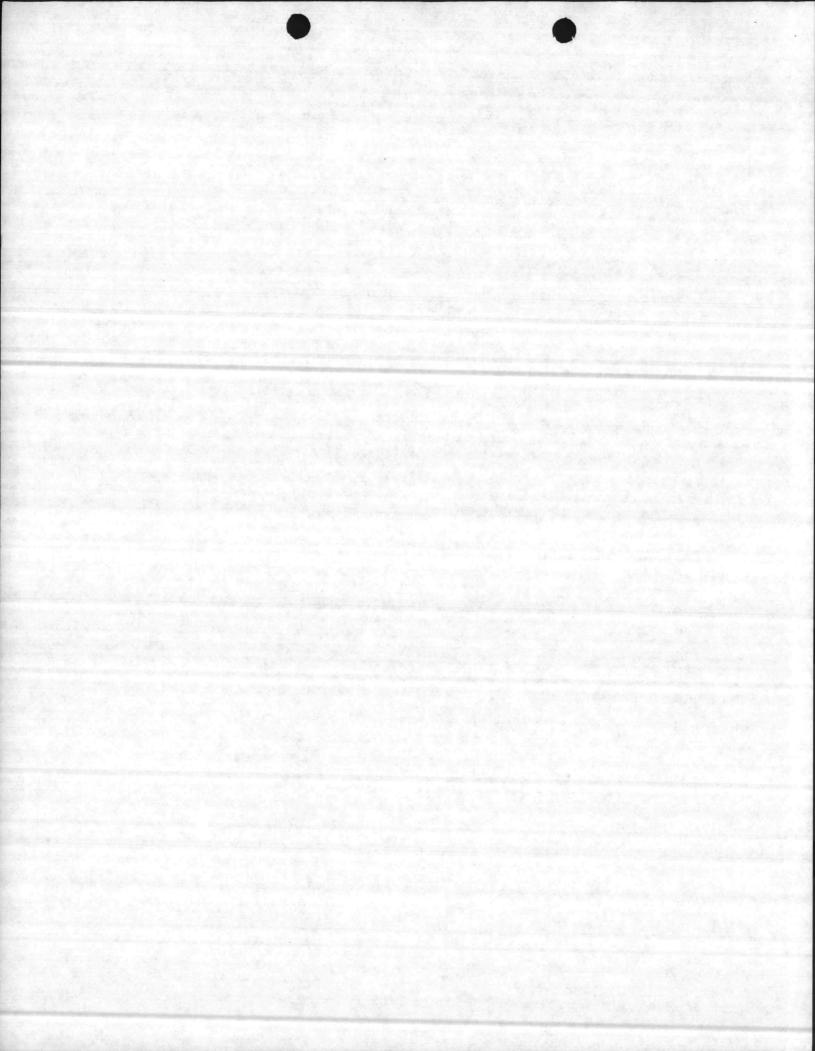
## LOCATION EXCHANGE, BERKELEY MANOR HSG AREA

	QUANTIT	IES	MATERIA	L COSTS	LABCR	COSTS	ENGINEERIN	S ESTIMAT
ITEM (OR FEATURE) DESCRIPTION (Abbreviate if necessary)	NO. OF	UNIT	UNIT	COST	UNIT COST	COST	UNIT	COST
· 1	2	3	4	5	6	7	8	9
	and the second second		a deserved and	a set of the set of the	and a second			
"Reinf. conc. slab,			and in the					
ftgs, piling, etc.		LS		10,980	and a start	3,620		14,600
Brick, face, sand/clay	39,750	EA	.18	7,155	.52	20,670	.70	27,82
CMU, 6" w/insulation	2,500	EA	.58	1,450	1.64	4,100	2.22	5,550
Insul, wall, rigid	2,000	SF	.36	720	.17	340	.53	1,06
Bar joist	5	TN	714.	3,570	183.	915	897.	4,48
Struct. stl.	6	TN	760.	4,560	195.	1,170	955.	5,730
Col., stl. pipe, 4"	1,000	LB	.40	400	.15	150	.55	55
Deck, mtl., roof	7,210	SF	.85	6,129	.65	4,687	1.50	10,810
Roof, built-up	73	SQ	.56	4,088	29.	2,117	85.	6,20
Flashing, copper	530	SF	2.38	1,261	1.59	843	3.97	2,10
Insul., rigid, 2"	7,210	SF	.71	5,119	.35	2,524	1.06	7,64
	7,210	SF	1.16	8,364	.63	4,542	1.79	12,90
Tile, accoust., clg.	7,210	SF	.71	5,119	.37	2,668	1.08	7,88
Insul., batt, clg.	3,000	SF	1.06	3,180	.48	1,440	1.54	4,62
Tile, vinyl asb.		SF	1.42	5,978	.95	4,000	2.37	9,97
Hemgatile F1.	4,210	Dr	1.42	5,970	.95	4,000	2.5/	5,51
Dr., entr., al., dbl., w/frames & hdw.	.4	EA	1,060.	4,240	610.	2,440	1,670.	6,68
Dr., H.M., ext., dbl.,			and the second					
w/frames & hdw.	4	EA	670	2,680	250.	1,000	920.	3,68
Dr., H.M., int.	6	EA	190	1,140	120.	720	310.	1,86
Partitions, wall, int.	260	LF	24.35	6,331	14.05	3,653	38.40	9,98
Stalls, mtl., toilet	8	EA	237.	1,896	82.	656	319.	2,55
Downspout, mtl. copper	168	LF	6.50	1,092	.85	143	7.35	1,23
Scuppers, mtl. copper	12	EA	78.	936	28.	336	106.	1,27
Canopy, al., 6"	114	LF	13	1,482	9.	1,026	22.	2,50
Painting	4,400		.18	792	.42	1,848	*60	2,64
raincing	ALC: NO	1992	F Seesa	in and the		1.10.11		
Electrical	and she was	-	and and second	1.		12 - 12		· · · · ·
Transf. 150 KVA w/accys	2	EA	3,880.	7,760	835.	1,670	4,715.	9,43
400 Amp. pnls &pnl.,	-		10,000	.,	1			
	3	LS	1,220	3,660	170.	1,390	1,390	4,17
lgt, w/bkrs, etc.	90			10,530	32.	2,880	149.	13,41
Fluor. fix, 4T96	60			360	9.50	570	15.50	93
Recept., elect.	8	and the second second		4,560	380.	3,040	950.	7,60
MV fix., ext. w/pole	0	LS		2,225	500.	4,290		6,51
Misc. wiring & cond.		L LD		2,225		7,250	Section and	0,51
Fire protection system		1.0		2 260	in and has	1,060	and the second of the	3,42
lights & alarm	1	LS	a second as a	2,360		1,000		J, 42



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IDENTIFICATION NUMBER







2 OF 2 SHEET

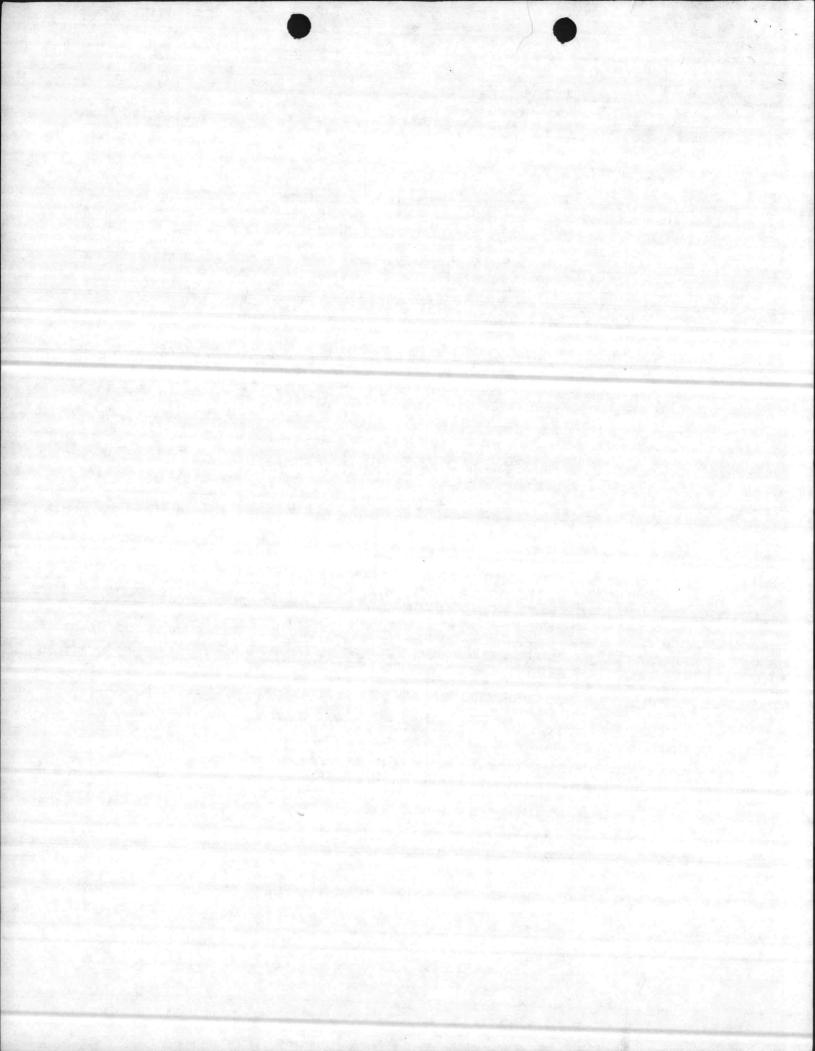
## JST ESTIMATING FORM

JST ESTIMATING FORM RAVCOCKS 2417 (REV. 5-63)		IDENTIFICATION NUMBER
0105 013 3800	*	CATEGORY CODE NUMBER
AREA OF AD	CAMP LEJEUNE, N.C.	740-02

5th ND MARINE CORPS BASE

# LOCATION EXCHANGE, BERKELEY MANOR HSG AREA

	QUANTIT	IES	MATER	AL COSTS	LABO	R COSTS		NG ESTIMAT
(Abbreviate if necessary)	NO. OF	UNIT	UNIT	COST	UNIT COST	COST	UNIT	COST
1	2	3	4	5	6	7	9	3
1		+	San San Sal	and the statements				
Heat., A/C & Vent 35 TN heat pump, con- trols, resistor coils w/insulated duct, diff. & grilles Exh. fan, w/hood Misc. hoods & fans for soda fountain, etc.	4	LS EA LS	475	32,945 1,900 2,710	125	16,090 500 795	600	49,035 2,400 3,505
Plumbing	4	EA	295	1,180	285	1,140	580	2,320
Toilet fix. w/piping		EA	238	1,904	160	1,280	398	3,184
F1. drains w/piping	82	EA	495	990	170	340	665	1,330
Elect. drink ftn. & acc.						000		3,590
Hot water heater, stor- age, 1,000 gal.	1	EA	al bah	3,200	1.00	390		3,550
age, 1,000 gal.								
Site Work	5.00.		1000			A. A.		
Paving, sub-base, grading & escav.	1. 200	LS	Reine	8,870	1.6	8,200	10000	17,070
Utilities to site loca-	1000		1.00			1 . 070	1.1.1.1.1.1	15,120
tion		LS	1000	9,050	E and the	6,070		7,750
Clearing & grubbing	and the	LS	Sere and	3,500	-	4,350	-	305,04
SUBTOTALS	1.8.0	31.1	Eline	186,366	Section 2	110,005	1.8.2.5	45,75
OVERHEAD - 15%	. and a		Same.	a la ser a l	a stall	1	the second	14,24
INS., TAXES, ETC.	- 12% L	ABOR	1.141.54				1. 1. 1. 1. 1.	364,04
SUBTOTAL	1.19.25	68-51						36,40
PROFIT - 10%	en alle de	a and	( and the set	Research and a second			· ·	400,45
SUBTOTAL		ad pairs	1.	18 S.	44.45		Section 2	4,00
BOND - 1.0%	1.		- the	Construction of the second	1	and the second	100	404,45
SUBTOTAL 10%	and a part of	a						40,44
CONTINGENCY - 10%			12.35			and all a set of	1.1	444,90
SUBTOTAL		3.12	1999					24,47
S.I.O.H. 5.5% TOTAL PROJECT EST	MATE		1.		and the second		a ta ana ana bata	469,37
A & E DESIGN FEE								26,69
A Q E DESIGN FEE	C Barrie			1.4.4			The states	490,00
					and parts		1	
						Sec. 1		
and the second					ann rainn	Ser 2, 10a		
10 11					PUSITO	UOPKS DE	PT.	29 Aug 1
OFLMAR D. VEAVES	-   R.	H. Wit	CLEY, I		T C D D C		arran and a second	CON LEXICAL L'UNION DO



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3. INSTALLATIO		CATION		A. PROJE	and the second second	OF	
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CAMP LEJEUN	E, NORT	H CAROLINA 28542	a generality is study to see a possible. I	CT NUMB	A parameters and a president of the operation of the	ROJECT COS	ST (\$000)
5. PROGRAM ELI	EMENT						
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	a Tayl and	ITEM		U/M	QUANTITY	UNIT COST	COST (\$000)
TOOLTTOIL TIM	CITY & BIOTE	UCDECTAT UNDN		SF	7,210	45.35	327
		W/SPECIAL FNDN	1	LS		-	44
		ELEC, SEWER, STEAD	1	LS	_	-	23
PAVEMENT, FI	LEXIBLE	& KIGID		LS	_	-	11
	EMENIS/	EROSION CONTROL		LS	_	-	405
SUBT. COST	109/			LS		-	40
CONTINGENCY				LS			445
ESTIMATED CO	ONTRACT	COST	E E 0/				24
		CTION & OVERHEAD .	- 0.0%	LS			469
TOTAL REQUI	EST		-	LS	1.0		
INSTALLED E	QUIP OT	HER APPROPRIATION	S	TO			27
A & E DESIG		6%		LS	-		
PROJECT COST	r			LS	-		496
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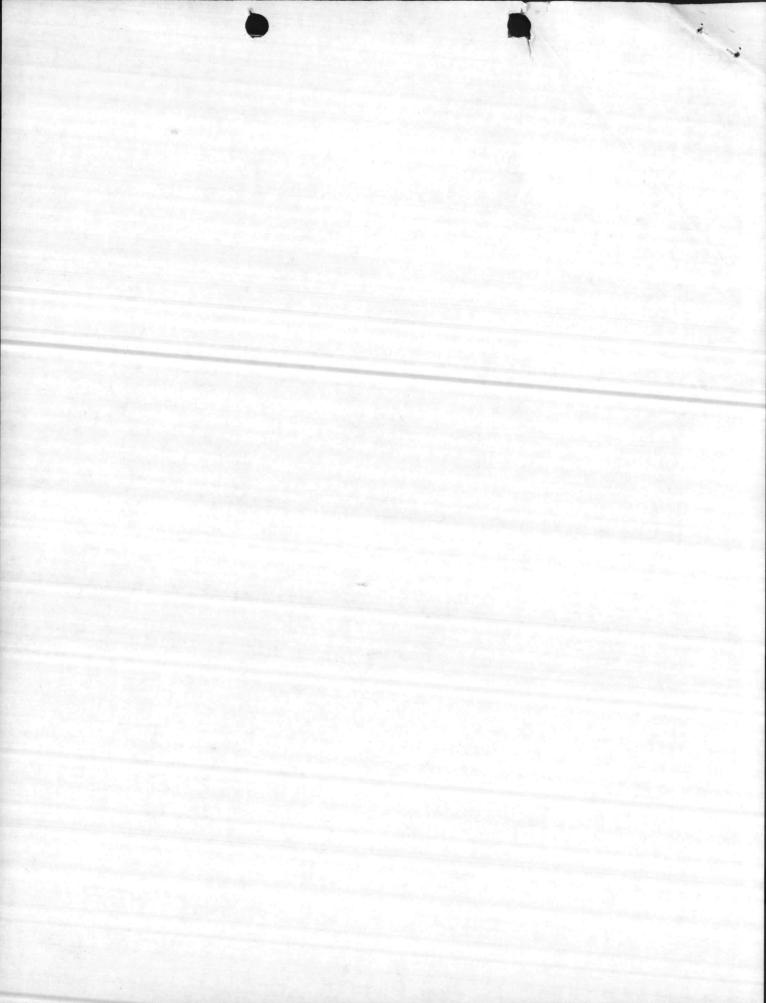
PREVIOUS EDITIONS MAY BE USED INTERNALLY UNTIL EXHAUSTED

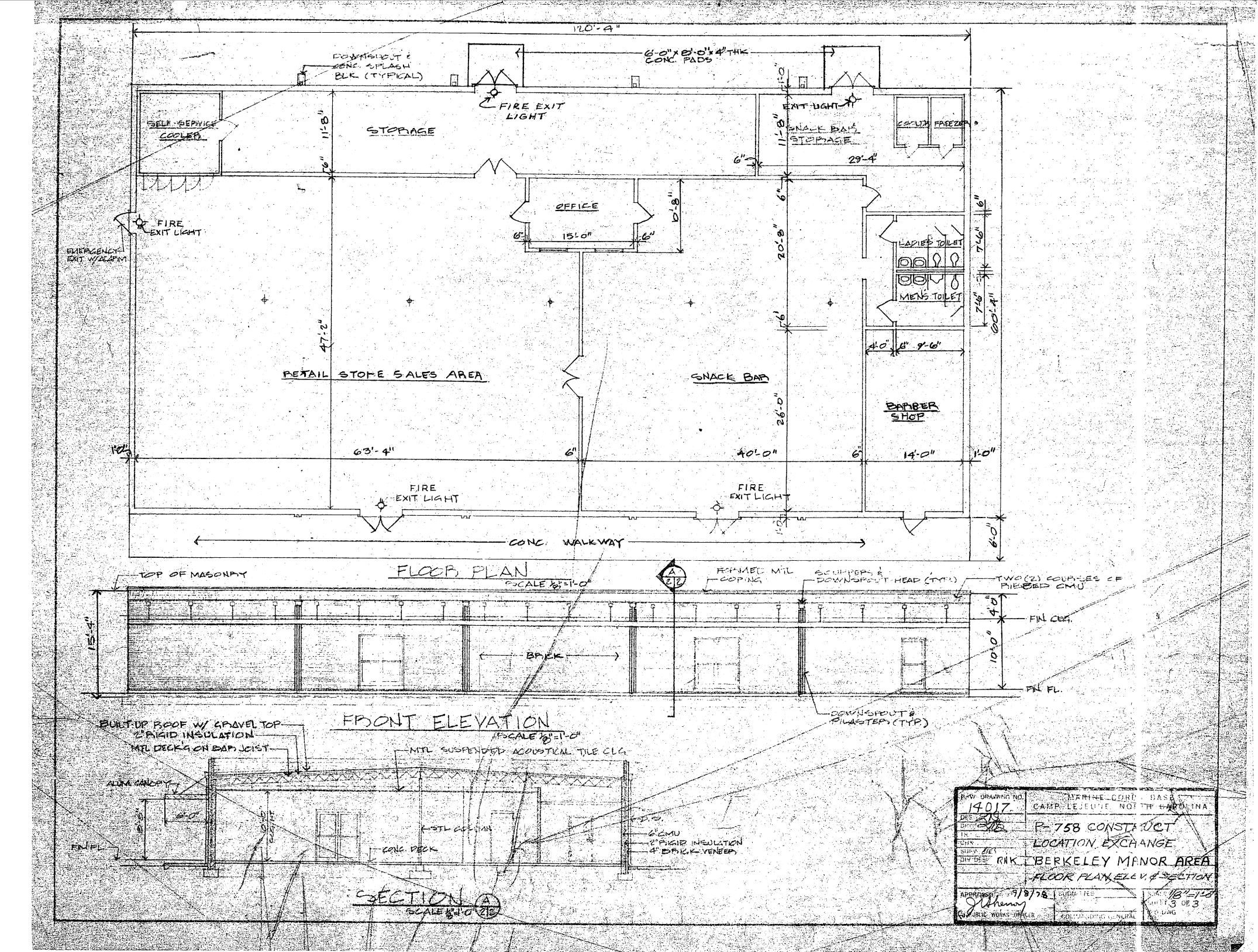
PAGE NO. 1 Of 2



NAVY	NA.	29 Aug 78
3. INSTALLATION AND LOCATIO		a second s
MARINE CORPS BASE, CAN	P LEJEUNE, NORTH CAROLINA	28542
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LOCATION EXCHANGE, BERN	KELEY MANOR HSG AREA	P-758
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made and it has been	ACT. An environmental imp determined that the propos- impact on the environment	ed project will have
ties do not directly	ISTORIAL SITES AND STRUCTU or indirectly affect a dis setting which is listed i significant quality of Am	n the National Register o
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of project purpose. 4. FLOOD HAZARDS. R	equirements of Executive O	
of project purpose. 4. <u>FLOOD HAZARDS</u> . R Hazards) are not appl	equirements of Executive O icable. TION, ABATEMENT, AND CONTRO	order No. 11296 (Flood
of project purpose. 4. <u>FLOOD HAZARDS</u> . R Hazards) are not appl 5. <u>POLLUTION PREVENT</u> cause additional air 6. <u>DESIGN FOR ACCESS</u> Consideration shall b personnel.	equirements of Executive O icable. TON, ABATEMENT, AND CONTRO or water pollution. BIBILITY OF PHYSICALLY HAND be given for accessibility	Order No. 11296 (Flood OL. This project will not DICAPPED PERSONNEL. of physically handicapped
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of project purpose. 4. <u>FLOOD HAZARDS</u> . R Hazards) are not appl 5. <u>POLLUTION PREVENT</u> cause additional air 6. <u>DESIGN FOR ACCESS</u> Consideration shall b personnel. 7. USE OF AIR CONDIT	equirements of Executive O icable. TON, ABATEMENT, AND CONTRO or water pollution. BIBILITY OF PHYSICALLY HAND be given for accessibility	Order No. 11296 (Flood OL. This project will not DICAPPED PERSONNEL. of physically handicapped
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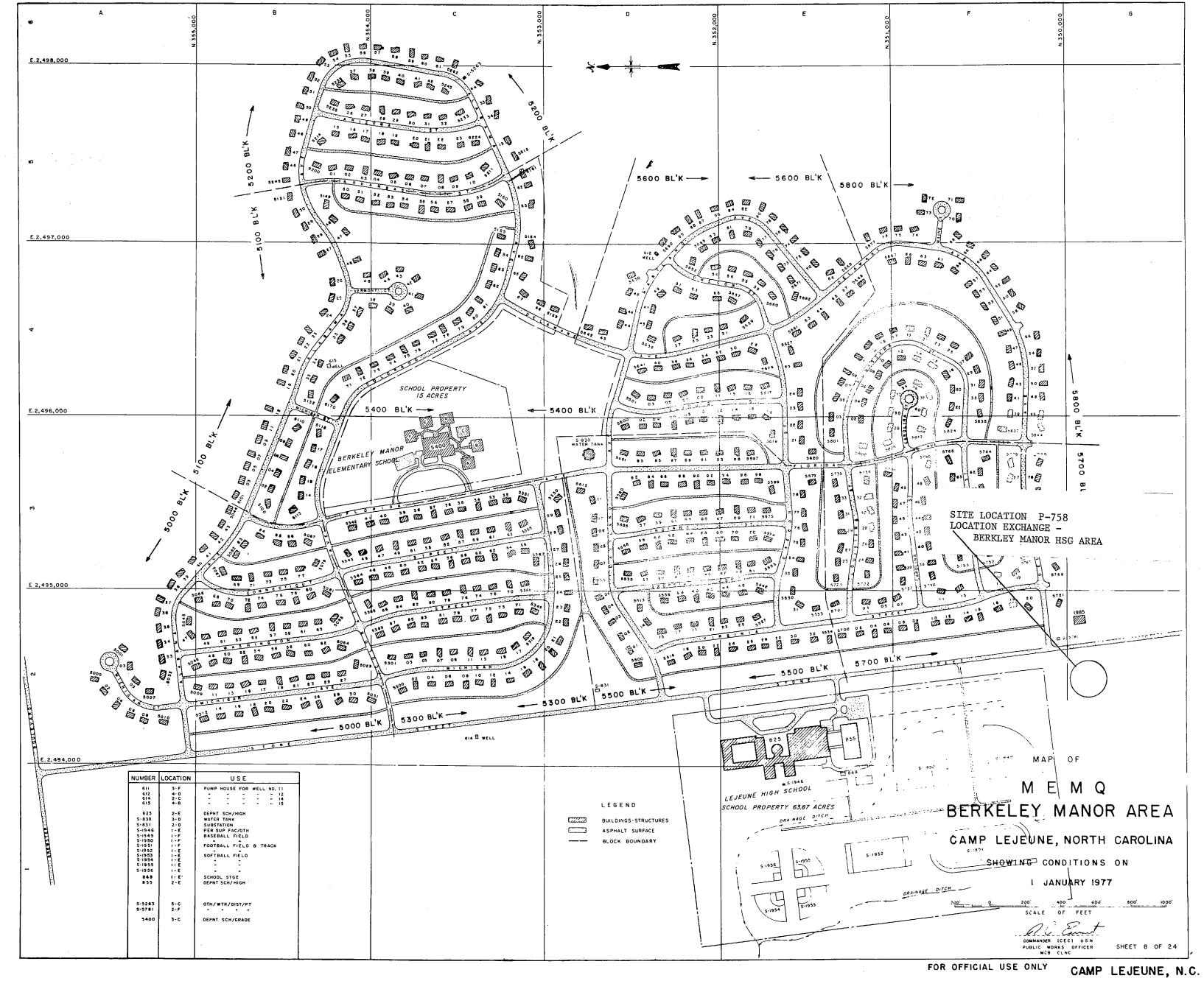
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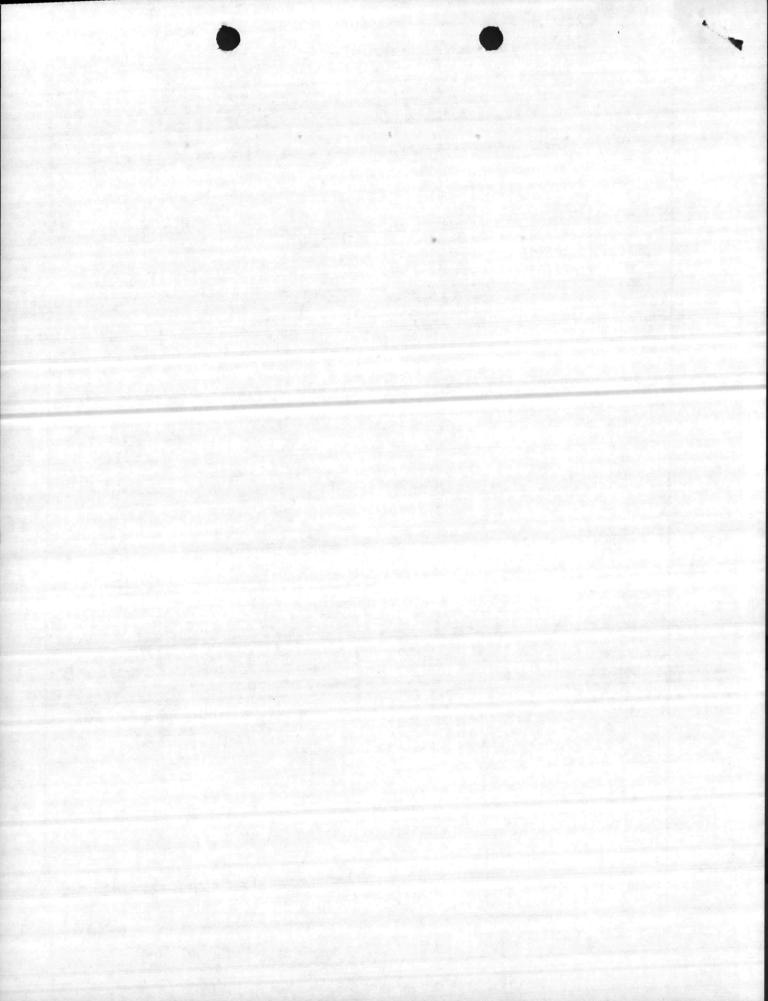
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		NSTRUCTION PROJE	20 Oct	78
. INSTALLATION A	ND LOCATION			
MARINE CORP	S BASE, CAMP LEJEUNE, N	NORTH CAROLINA 28542		
PROJECT TITLE			5. PROJECT NUMBER	
			P-758	
LOCATION EX	CHANGE, BERKELEY MANOR		1-750	
and the second second	FACIL	ITY STUDY		
1. <u>Project</u> living in t	. Provides a Location he area.	Exchange for personn	el working and	
facilities	and Planned Future Wo will be utilized on an n of need for this fac	8 hour day basis sev	This Project. en days a week.	The
3. Descrip	tion of Proposed Const	ruction:		
concrete, s roof, insul	e of Construction. On pecial foundation, mas ation, interior utilit ghting, utility connec	onry walls, concrete y systems, rigid and	floors, built-up flexible pavemen	
b. <u>Rep</u>	lacement. Not applica	ble.		
c. Des	cription of Work to be	Done.		
(1) masonry str	Primary Facility. Mod ucture on special foun	ular steel frame, rei dation.	inforced concrete	/
(2)	Support Facility. Pav	ements, lighting and	site improvement	•
(3) cient equip	Energy Conservation. ment and building orie	This project will ut ntation for maximum e	cilize energy eff energy conservati	i- lon
(4)	Collateral Equipment.			
systems, pl (The forego	(a) <u>Built-in</u> : venetia ter coolers, telephone umbing, heating, venti ing items are consider y reflected on the 139	, fire alarm, sprinkl lating and air-condit ed in the project cos	ler and intercom tioning systems.	
equipment.	(b) <u>Expense Items</u> : wi	11 be non-appropriate	ed fund supplied	
(5) pabatement,	Supporting Facilities site improvements, etc	. Special foundation	n, pollution	
4. <u>Cost Es</u> NAVFAC P-44	stimates. Area cost fa 88 (Feb 1976), Military	actor for Camp Lejeund Construction Cost En	e, N. C. is 1.00 ngineering Data.	

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1. COMPONEN		÷							2. DATE	
NAVY		FY 19_	3MI	LITARY CO	ONSTRU	UCTION PR	OJECT	ATA	20 Oct	78
3. INSTALLA	TION AND	DLOCAT	ION		i gi sang					
MARINE	CORPS	BASE,	CAMP	LEJEUNE,	NORTH	CAROLINA	28542			
4. PROJECT T	ITLE						the formation	5. PROJ	IECT NUMBER	

LOCATION EXCHANGE, BERKELEY MANOR

.P-758

The book data is escalated to provide the cost for the proposed facility. The contingency factor is 10% and the cost growth factor is computed at 10% per year for the project.

# 5. Justification for Project and for Scope of Project:

### a. Justification for Project: :

(1) <u>Project</u>. Proposed facility is required for troops and personnel living and working in close proximity to the proposed Location Exchange.

(2) <u>Current Situation</u>. Location Exchanges are in substandard and minimum facilities, located in or near personnel centers.

(3) <u>Impact if Not Provided</u>. Personnel will continue to utilize substandard and minimum facilities which provide inefficient operations and limited services to patrons.

### b. Justification for Scope of Project:

(1) The project scope is the minimum size facility that can meet the deficiency requirements for space, Category Code 740-02 (Location Exchange). This will correct the deficiency in the area. See Item 13, Quantitative Data.

6. Equipment Provided from Other Appropriations. Not applicable.

7. <u>Common Support Facilities</u>. Not applicable. There are no common support facilities available in the area.

8. Effect on Other Resources. The project will require approximately \$3,710 per year in increased O&MN funds for increased utility services and operations. No additional personnel will be required to operate this facility. The project will enhance and improve the morale of personnel presently working and living in the vicinity. Proposed construction should be responsive to the challenges presented by the energy situation, and comply with the requirements of Executive Order 12003 of 20 July 1977 and implemented by NAVFACINST 4100.5A.

#### UTILITY REQUIREMENTS

a. Electricity Consumption 55,438

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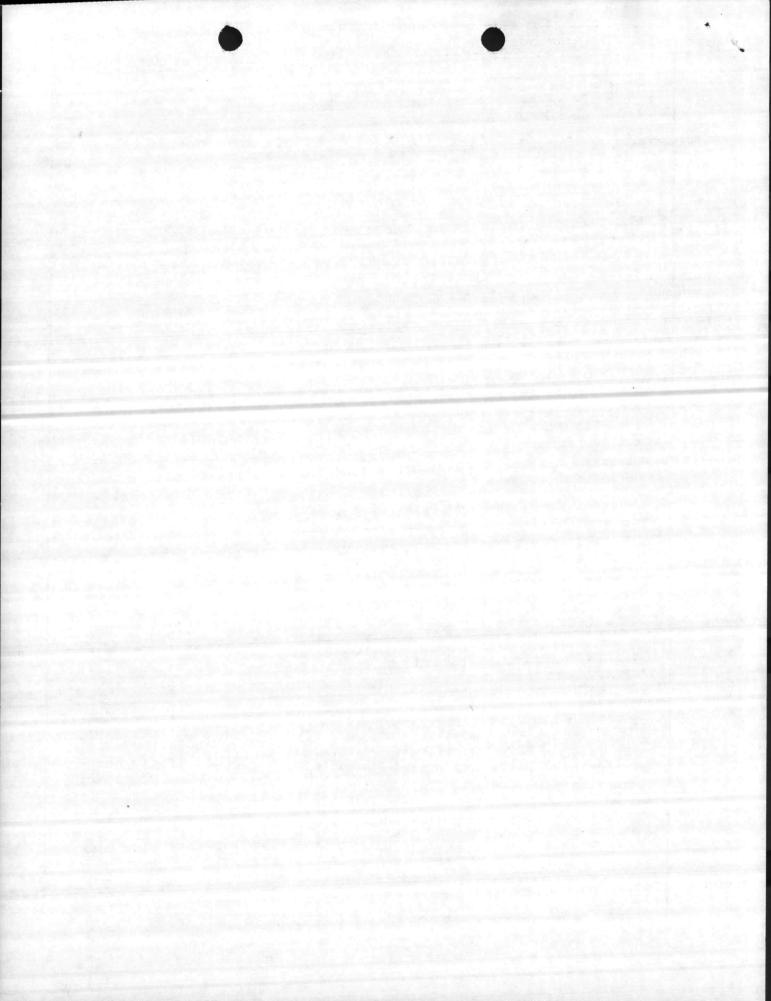
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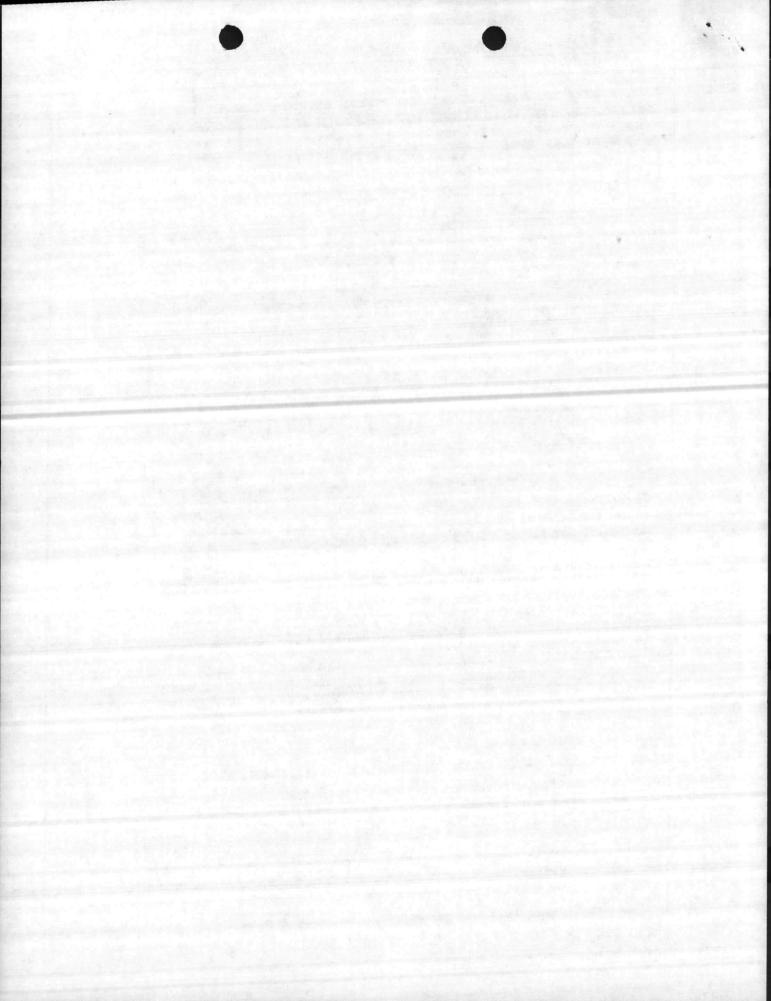
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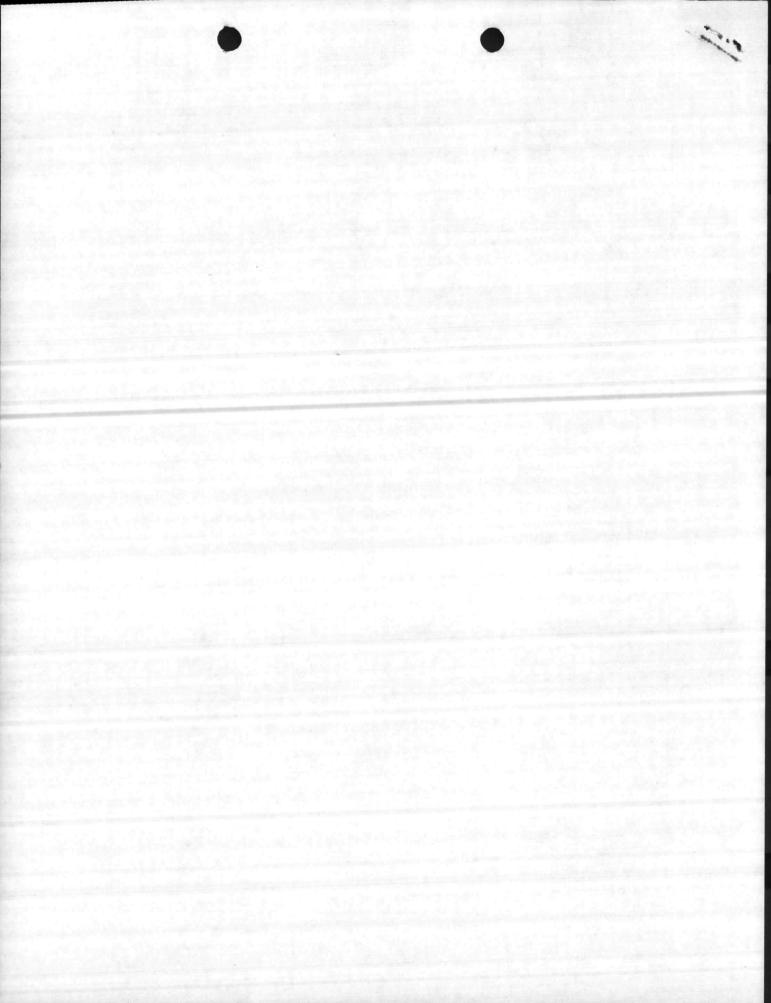


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NSTALLATION P	LOCATION					
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ROJECT TITLE			Contraction of the second	Service States	5. PROJECT N	NUMBER
				12.25		
LOCATION EX	KCHANGE, BERKEI	LEY MANOR				58
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	Consumptio	on <u>853,37</u> 305	the state of the s			
	Demand		lbs/hr			
c. Coa	a1	33	tons/yr		Section 1	
4 44	equate utility	requirement	e are availa	blo.		
u. Aut	equate utility	requirement	.5 ale avalla	DIC.		
9. Siting	of the Project	<u>t</u> :				
a. But	ilding layout:	See enclos	ure (1)			
a. Du.	traing rayout.	bee eneros	die (i)			
b. Loo	cation: See en	nclosure (2)				
10. <u>Other</u>	Graphic Prese	ntations, in	cluding Phot		19 - 19 - 19 - 19 - 19 - 19 - 19 - 19 -	developed
<ol> <li><u>Other</u></li> <li><u>Econor</u></li> <li>area of the sumption same</li> </ol>		ntations, in The facilit economic sa ealized from	cluding Phot y is being c wing will be	construc in nom	ted in a inal ener	gy con-
10. <u>Other</u> 11. <u>Econor</u> area of the sumption sa an operation 12. <u>Enviro</u> air or wate	Graphic Presen nic Analysis. Base and the avings to be re	The facilit economic sa ealized from equirement. <u>t</u> . The proj nd energy co	cluding Phot y is being c wing will be efficient o ect will not	construc in nom operatio cause measures	ted in a inal ener ns. This any addit and feat	gy con- a is not cional cures
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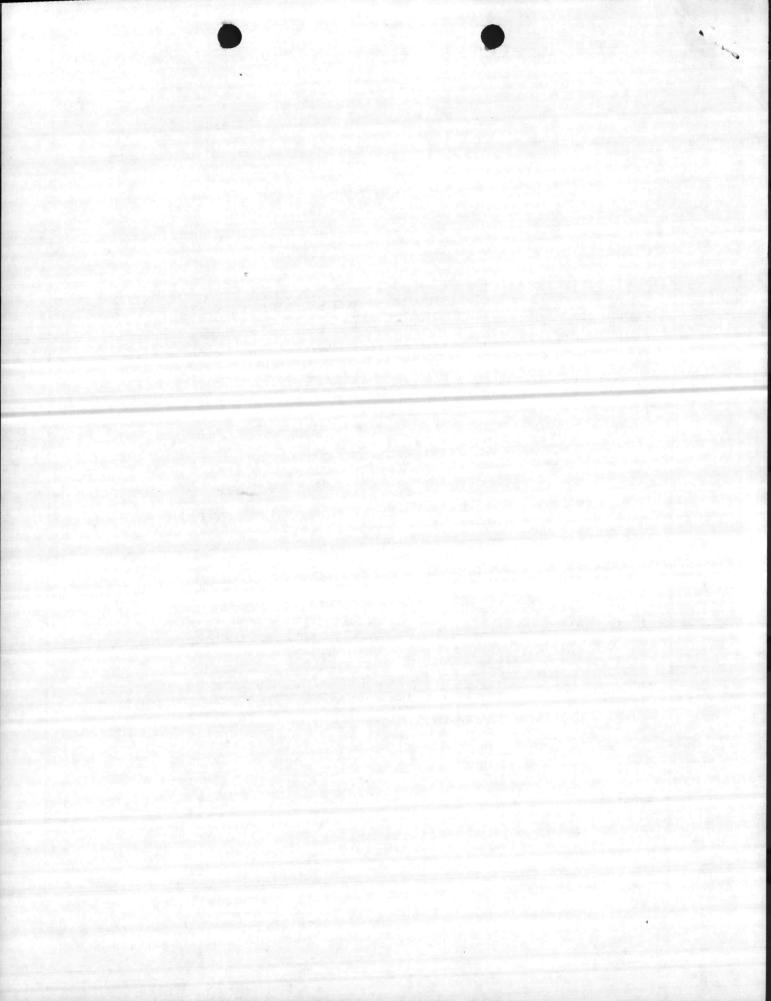


I. COMPONENT NAVY	FY 19 MILITARY CONSTRUCTION	PROJE DATA	2. DATE 20 Oct 78
3. INSTALLATI	ON AND LOCATION	the second second	
MARINE C	CORPS BASE, CAMP LEJEUNE, NORTH CAROLI	NA 28542	
4. PROJECT TIT		5. PROJ	ECT NUMBER
LOCATION	EXCHANGE, BERKELEY MANOR	. 1	2-758
Strange and	Planned Facilities:		
с.			
с.	rialmed Facilities.		
с.	FY Project No. Area SF	Location Berkeley Manor	

14. <u>Funding</u>. Funding will be from the Nonappropriated Fund , Central Construction Fund, HQMC.



NAVY	AND LOCATION			20 Oct
MARTNE COR	PS BASE, CAMP LEJEUN	NE, NORTH CAROLINA	28542	
4. PROJECT TITLE				ECT NUMBE
LOCATION E	XCHANGE, BERKELEY MA	ANOR	P	-758
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Well State and State	F/	ACILITY STUDY		
				ing and
1. <u>Projec</u> living in	the area.	tion Exchange for pe	ersonnel work	ting and
facilities	at and Planned Future will be utilized on on of need for this	n an 8 hour day bas:	is seven days	roject. s a week
3. Descri	ption of Proposed Co	onstruction:		
concrete, roof, insu	ope of Construction. special foundation, alation, interior ut lighting, utility con	masonry walls, condility systems, rigid	erete floors, d and flexibl	, built Le paver
b. <u>Re</u>	eplacement. Not app	licable.		
c. <u>D</u> e	escription of Work to	o be Done.		
(I masonry st	l) <u>Primary Facility</u> . tructure on special	Modular steel fram foundation.	e, reinforced	d concre
	2) <u>Support Facility</u> .	Pavements, lightin	g and site in	nprovem
() cient equ	3) <u>Energy Conservati</u> ipment and building	on. This project w orientation for max	ill utilize ( imum energy (	energy conserv
(*	4) Collateral Equipm	ent.		
systems, (The fore	(a) <u>Built-in</u> : ven water coolers, telep plumbing, heating, v going items are cons ity reflected on the	entilating and air- idered in the proje	prinkler and conditioning	interc system
equipment		: will be non-appro	priated fund	suppli
aabatement	5) <u>Supporting Facili</u> , site improvements,	ties. Special foun etc.	dation, pollu	ition
4. <u>Cost</u> NAVFAC P-	Estimates. Area cos 448 (Feb 1976), Mili	st factor for Camp L tary Construction C	ejeune, N. C ost Engineer	. is l. ing Dat



1. COMPONENT NAVY	FY 19 82 MILITARY CONSTRUCTION PROJECT DATA	2. DATE 20 Oct 78
3 INSTALLATION	AND LOCATION	
	A REAL CARD LE LEURIE NORTH CAROLINA 285/2	
	PS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542 5. PROJ	IECT NUMBER

The book data is escalated to provide the cost for the proposed facility. The contingency factor is 10% and the cost growth factor is computed at 10% per year for the project.

## 5. Justification for Project and for Scope of Project:

### a. Justification for Project: :

(1) <u>Project</u>. Proposed facility is required for troops and personnel living and working in close proximity to the proposed Location Exchange.

(2) <u>Current Situation</u>. Location Exchanges are in substandard and minimum facilities, located in or near personnel centers.

(3) <u>Impact if Not Provided</u>. Personnel will continue to utilize substandard and minimum facilities which provide inefficient operations and limited services to patrons.

## b. Justification for Scope of Project:

(1) The project scope is the minimum size facility that can meet the deficiency requirements for space, Category Code 740-02 (Location Exchange). This will correct the deficiency in the area. See Item 13, Quantitative Data.

6. Equipment Provided from Other Appropriations. Not applicable.

7. <u>Common Support Facilities</u>. Not applicable. There are no common support facilities available in the area.

8. Effect on Other Resources. The project will require approximately \$3,710 per year in increased O&MN funds for increased utility services and operations. No additional personnel will be required to operate this facility. The project will enhance and improve the morale of personnel presently working and living in the vicinity. Proposed construction should be responsive to the challenges presented by the energy situation, and comply with the requirements of Executive Order 12003 of 20 July 1977 and implemented by NAVFACINST 4100.5A.

#### UTILITY REQUIREMENTS

a. Electricity Consumption

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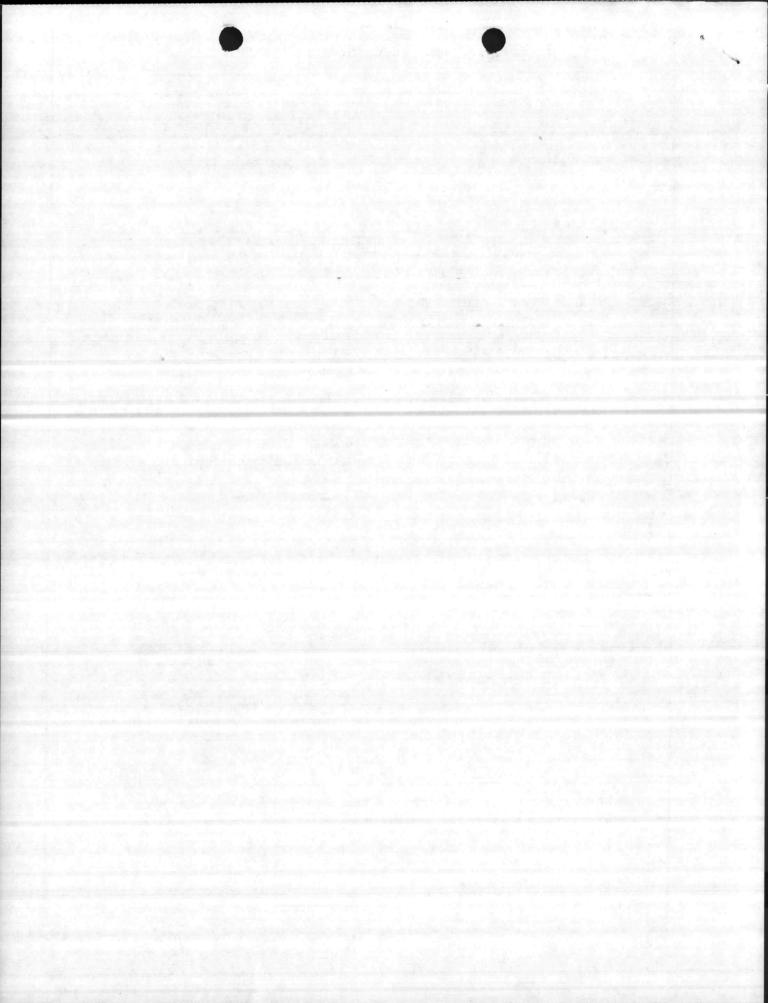
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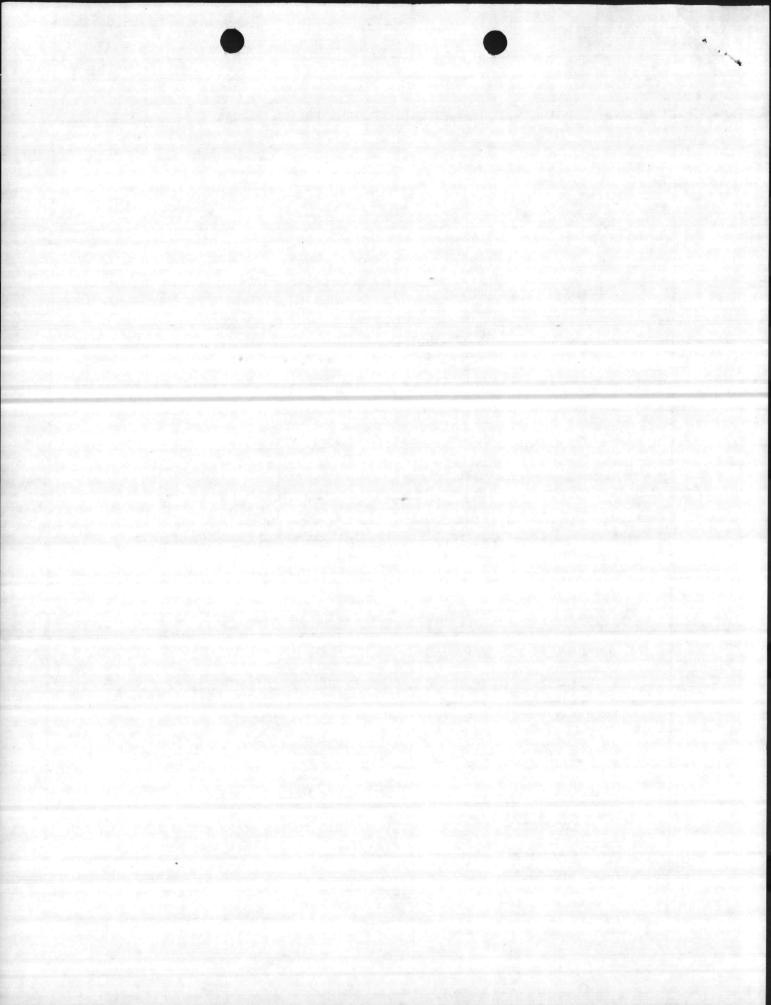
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MARINE COR	PS BASE, CAMP	LEJEUNE, NORTH	H CAROLINA	28542		
. PROJECT TITLE			Land Brings	5.1	PROJECT NUMBER	1
				1999 - 2014 - 2017	1999 - 1997 - 1997 - 1997 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 -	
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and the second states and the						
c. Co	al	33	tons/yr			200 ja 19 252 Sector
d Ad	equate utility	y requirements	are availab	10		
u. Au	equate activity	y requirementes	are availab	10.		
9. Siting	of the Project	et:				
a. Bu	ilding layout:	See enclosur	re (1)			
<ul> <li>A starting to the starting of the</li></ul>		1 (0)				
b. Lo	cation: See e	enclosure (2)				
			luding Photo	oranhs	None.	
10. <u>Other</u> 11. <u>Econo</u>	Graphic Prese	entations, incl The facility	is being co	nstructe	d in a develop	≥d
10. <u>Other</u> 11. <u>Econo</u> area of th sumption s an operati	Graphic Prese mic Analysis. The Base and the avings to be r onal project r	The facility e economic save cealized from a requirement.	is being co ing will be efficient op	nstructe in nomin erations	d in a develop al energy con- . This is not	
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<ul> <li>10. <u>Other</u></li> <li>11. <u>Econo</u></li> <li>area of the sumption set of the sumption set of the set of</li></ul>	Graphic Prese mic Analysis. The Base and the avings to be r onal project r onmental Impac er pollution a considered to itative Data. RL Requirement rere used for t e. The total isting Assets: ilding No. 1985 CH-4014 CH-4015 TT-2461	The facility e economic save realized from a requirement.	is being co ing will be efficient op ct will not servation me esign and ec 0 allowance iscellaneous ent is 7,210 ,857 SF, Sub <u>Disp</u> To be reta To be reta To be reta To be reta	nstructer in nomin erations cause an asures a onomics factors (Berlel SF standard osition ined ined & e ined & e ined & e	d in a develop al energy con- . This is not y additional nd features of the facility for a Location ey Manor) area 	y.
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1. COMPONENT NAVY	FY 19 MILITARY CONSTRUCTION PROJECT DATA	2. DATE 20 Oct 78
3. INSTALLATI	ON AND LOCATION	
MARTNE (	CORPS BASE, CAMP LEJEUNE, NORTH CAROLINA 28542	
4. PROJECT TIT	E BRO	IECT NUMBER
LOCATION	EXCHANGE, BERKELEY MANOR	P∸758
с.	Planned Facilities:	
	FY 83Project No.Area SF 7,210Location Berkeley Manor7,210Total Planned Facility	

14. <u>Funding</u>. Funding will be from the Nonappropriated Fund , Central Construction Fund, HQMC.

